

TITLE 17 – LAND USE DISTRICTS

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- 17.1 ORGANIZATION OF LAND USE DISTRICTS**
- 17.2 RESIDENTIAL DISTRICTS**
- 17.3 COMMERCIAL DISTRICTS**
- 17.4 INDUSTRIAL DISTRICTS**
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CHAPTER 17.1 – ORGANIZATION OF LAND USE DISTRICTS

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17.1.100 CLASSIFICATION OF LAND USE DISTRICTS

Every parcel, lot, and tract of land within the City limits of the City of Molalla is designated with a land use (zoning) district. The use of land is limited to the uses allowed by the applicable land use district and/or overlay zone. The applicable land use districts and overlay zone(s) are determined based on the Land Use District Map and the provisions of this Chapter, which shall be consistent with the City of Molalla’s Comprehensive Plan, as indicated in Table 17.1.100.

Table 17.1.100 Zoning District Symbology

<u>RESIDENTIAL</u>		<u>COMMERCIAL</u>	
<i>Low Density Residential</i>	<i>R-1</i>	<i>Central Business District</i>	<i>C-1</i>
<i>Medium Residential</i>	<i>R-2</i>	<i>General Commercial</i>	<i>C-2</i>
<i>Medium-High Density Residential</i>	<i>R-3</i>		
<i>Historic District</i>	<i>R-5</i>		
<i>Community Planning Area</i>	<i>CPA</i>		
<u>OVERLAY</u>		<u>INDUSTRIAL</u>	
<i>High Density Residential</i>	<i>HDR</i>	<i>Light Industrial</i>	<i>M-1</i>
<i>Highway Commercial</i>	<i>HC</i>	<i>Heavy Industrial</i>	<i>M-2</i>
<i>Support Commercial</i>	<i>SC</i>		
<i>Employment Zone</i>	<i>EZ</i>		
		<i>Public, Semi-Public</i>	<i>PSP</i>

17.1.200 LAND USE DISTRICT MAP

A. Consistency with Land Use District Map: The boundaries of the land use districts contained within this chapter shall coincide with the land use district boundaries identified on the map entitled, “City of Molalla Zoning Map,” retained by the City Recorder. Said map by this reference is made a part of this Development Code. The official zoning map, and any map amendments, shall be maintained by the City.

B. Applicability of Land use Standards: Each lot, tract, and parcel of land or portion thereof within the land use district boundaries designated and marked on the zoning map, is classified, zoned and limited to the uses hereinafter specified and defined for the applicable land use district.

17.1.300 DETERMINATION OF LAND USE BOUNDARIES

Where due to the scale, lack of scale, lack of detail or illegibility of the City zoning map, or due to any other reason, there is uncertainty, contradiction or conflict as to the intended location of a district boundary line, the boundary line shall be determined by the Planning Director in accordance with all of the following criteria:

- A. Rights-Of-Way:** Boundaries indicated as approximately following the center lines of streets, highways, railroad tracks, alleys, irrigation canals, bridges, or other right-of-way shall be construed to follow such center lines. Whenever any public right-of-way is lawfully vacated, the lands formerly within the vacated right-of-way shall automatically be subject to the same land use district designation that is applicable to lands abutting the vacated areas. In cases where the right-of-way formerly served as a land use district boundary, the lands within the right-of-way now vacated shall be allocated proportionately among the subject land use districts;
- B. Parcel, Lot, Tract:** Boundaries indicated as approximately following the boundaries of a parcel, lot, or tract shall be construed as following such boundaries;
- C. Jurisdiction Boundary:** Boundaries indicated as approximately following a City or County boundary, or the Urban Growth Boundary, shall be construed as following said boundary; and
- D. Natural Features:** Boundaries indicated as approximately following a river, stream, drainage channel, drainage basin, topographic contour or other changeable natural feature not corresponding to any feature listed in subsection A-C, above, shall be construed as following such feature, except that the location may be corrected administratively through a Type II (Code Interpretation) procedure, in accordance with Chapter 19.8.

CHAPTER 17.2 – RESIDENTIAL LAND USE DISTRICTS

SECTIONS:

- 17.2.100 PURPOSE
- 17.2.110 ALLOWED LAND USES
- 17.2.112 R-1, SINGLE-FAMILY RESIDENTIAL
- 17.2.113 R-2, TWO-FAMILY RESIDENTIAL
- 17.2.114 R-3, MEDIUM DENSITY RESIDENTIAL
- 17.2.115 R-5, HISTORIC RESIDENTIAL
- 17.2.130 SETBACK YARDS AND BUILD TO LINE: EXCEPTIONS, FLAG LOTS
- 17.2.140 INFILL STANDARDS
- 17.2.150 HOUSING DENSITY
- 17.2.160 LOT COVERAGE
- 17.2.170 BUILDING HEIGHT: MEASUREMENT, EXCEPTIONS, STEP-DOWN REQUIREMENT, AND COLOR PALETTES
- 17.2.180 BUILDING ORIENTATION
- 17.2.190 ARCHITECTURAL DESIGN STANDARDS
- 17.2.200 SPECIAL USE STANDARDS

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- 17.2.1 ALLOWED LAND USES
- 17.2.1 DEVELOPMENT STANDARDS

17.2.100 PURPOSE

The Residential Districts are intended to promote the livability, stability and improvement of the City's neighborhoods. The purpose of each individual zone is listed below with common principles established between all zoning districts listed towards the end of this purpose statement.

R-1, Low Density Residential District. To provide for urban density single-family residential development. Duplexes are allowed only on corner lots. This zoning shall be located throughout the City.

R-2, Medium Density Residential District. To provide for a mix of single-family detached and attached residences, accessory dwellings and duplexes that provide an intermediary density between the R-1 district and the R-3 district.

R-3, Medium-High Density Residential District. To provide for mixed residential development including single family detached and attached residences, duplexes and multi-family developments.

HDR, High Density Residential Overlay District. This district recognizes the importance of achieving higher residential densities along major streets near employment centers. This district may be applied to the R-3 base zone to ensure that multiple family developments are constructed at a minimum of 20 dwelling units per net buildable acre.

R-5, Historic District. Provide for the maintenance, creation, and/or development of the historic area of the City. Mixed types of housing shall be allowed. Housing shall resemble the character of the Colonial Revival style of American architecture during the “early 1900’s.” This district is intended to maintain the look and feel of the City’s historic areas while complementing the historic downtown central business district to create visual consistency in the central area of the City.

CPA, Community Planning Area. To provide for medium density mixed use commercial and residential development. This district shall serve as the major source of high-density residential use, with support from commercial activity in designated areas. The City may allow flexibility in design if compelled by market conditions; however, the City will continue to apply design criteria that reduce vehicular traffic and promote the pedestrian environment.

This chapter provides standards for land use and development in each of the 5 districts, based on the following principles:

- Promote the orderly expansion and improvement of neighborhoods.
- Make efficient use of land and public services and implement the Comprehensive Plan.
- Designate land for the range of housing types and densities needed by the community, including owner-occupied and rental housing.
- Provide flexible lot standards that encourage compatibility between land uses, efficiency in site design, and environmental compatibility.
- Provide for compatible building and site design at an appropriate neighborhood scale; provide standards that are in character with the landforms and architecture existing in the community.
- Aid in the rendering of public services.
- Provide adequate open space for light and air.
- Enhance the appearance of the City.
- Facilitate the adequate provision of community utilities, and facilities such as water, sewage and electrical distribution systems, transportation, schools, parks and other public requirements.

- Reduce reliance on the automobile for neighborhood travel and provide options for walking, bicycling, bus and equestrian use.
- Provide direct and convenient access to schools, parks and neighborhood services.
- Maintain and enhance the City’s historic architecture and historic neighborhoods.

17.2.110 ALLOWED LAND USES

Table 17.2.1 identifies the land uses that are allowed in the Residential Districts. The specific land use categories are described and uses are defined in Title 16.

17.2.112 R-1, LOW DENSITY RESIDENTIAL

Development Standards

A. Density

1. Minimum 4 Dwelling Units Per Net Buildable Acre
2. Maximum 8 Dwelling Units Per Net Buildable Acre

B. Maximum Minimum Lot Area

Single-Family, detached	Duplex
7,000 sq ft	8,000 sq ft

C. Maximum Lot Coverages¹

Single-Family, detached	Duplex
50%	60%

D. Minimum Lot Width²

Single-Family, detached	Duplex
60 ft	60 ft

E. Minimum Lot Depth

Single-Family, detached	Duplex
80 ft	80 ft

¹ Maximum building coverage (foundation plane as % of site area). The allowable building coverage increases by a ratio of 1/2 square foot for every one square foot of required parking area that is paved using a City approved porous/permeable paving material (i.e. allowing stormwater infiltration) or 1/2 square foot of City approved water quality treatment area (e.g., vegetative swale or biofiltration) on the development site.

² Lot area must conform to the standards. Lot dimensions may be reduced for flag lots.

F. Building Height Number/Number of Stories/Building Height Transition/Minimum Landscape Area (% of site area)

Max ³ Building Height	Max Number of Stories	Building Height Transition	Minimum ⁴ Landscape Area (% of site area)
30 ft	3 1/2	No	20%

G. Setbacks

1. Front

- a. 15 ft - Primary Building⁵
- b. 20 ft - Garages/Carports
- c. 10 ft - Porches, Balcony, Patio
- d. 20 ft - Accessory Structures (must be setback equal to the front setback but no less than

2. Interior Side

- a. 5 ft - Building (including garages/carports) 16' peak or less
- b. 2 ft - Porches, Balcony's & Patio's may project into a setback on buildings up to 16' peak or less
- c. 10 ft - Building (including garages/carports) over 16' in height
- d. 5 ft - Porches, Balcony's & Patio's may project into a setback on buildings over 16' in height
- e. 0 ft - Accessory Structures 199 sq ft and less⁶
- f. 5 ft - Accessory Structures 200 sq ft and greater
- g. 10 ft - Accessory Structures greater than 16' in height
- h. N/A - Common Walls/Zero Lot Lines
- i. 5 ft - Alleys

3. Street Side

- a. 15 ft - Building (including garages/carports)⁷
- b. 5 ft - Porches, Balcony's & Patio's may project into a setback
- c. 15 ft - Accessory Structures

³ The height of accessory structures shall not exceed the height of the primary structure on the property.

⁴ Except does not apply to single-family dwellings. Landscape area may include plant areas and some non-plant areas as allowed under Chapter 18.2.

⁵ Must be in compliance with Section 17.2.140.

⁶ For zero lot setbacks on accessory structures a fire wall shall be required on the zero setback portion of the building.

⁷ For single-family residences, this standard may be reduced to 6 ft where the front setback is equal to or greater than 60 feet.

4. Rear Side

- a. 15 ft - Building (including garages/carports)
- b. 5 ft - Porches, Balcony's & Patio's may project into a setback
- c. 0 ft - Accessory Structures 199 sq ft and less⁸
- d. 5 ft - Accessory Structures 200 sq ft and greater.
- e. 10 ft - Accessory Structures greater than 16' in height.
- f. N/A - Common Walls/Zero Lot Lines
- g. 2 ft - Alleys
- h. 30 ft - Setbacks shall be increased to the following along arterials

5. Fences, Retaining/Garden Walls

- a. 42 inches - Front Yard (from Garage setback)
- b. 6 ft - Interior Side Yard
- c. 6 ft - Rear
- d. 6 ft - Street Side

H. Permitted Uses

- 1. Single-Family (detached)
- 2. Duplex, corner lot only
- 3. Manufactured Home
- 4. Public park, playground, or recreational area, and buildings used in connection therewith
- 5. Group Home

I. Accessory Uses

- 1. Gardening & horticultural activities & related structures for non-commercial purposes
- 2. Home Occupation, pursuant to Section 19.9.200
- 3. Garages or carports
- 4. Indoor Recreation Facilities (non commercial)
- 5. Signs, subject to requirements of Chapter 18.8
- 6. Swimming pools as outlined in Chapter 21,40
- 7. Use customarily incidental & subordinate to a PRINCIPLE use permitted outright

J. Conditional Uses

- 1. Boarding Facilities
- 2. Golf Courses
- 3. Governmental Building
- 4. Noncommercial storage areas⁹

⁸ For zero lot setbacks on accessory structures a fire wall shall be required on the zero setback portion of the building.

17.2 – Residential (R) Land Use Districts – Allowed Land Uses

5. Private, nursery, school, kindergarten, on daycare center¹⁰
6. Public, private, or parochial school
7. Public/Semi-Public building serving as a library, museum, or other similar purpose
8. Religious Institutions & Houses of Worship
9. Telecommunication facilities

17.2.113 R-2, MEDIUM DENSITY RESIDENTIAL

Development Standards

A. Density

1. Minimum 6 Dwelling Units Per Net Buildable Acre
2. Maximum 12 Dwelling Units Per Net Buildable Acre

B. Minimum Lot Area

Single-Family, detached	Single-Family, attached	Duplex
6,000 sq ft	3,000 sq ft	7,000 sq ft

C. Maximum Lot Coverages¹¹

Single-Family, detached	Single-Family, attached	Duplex
60%	60%	60%

D. Minimum Lot Width¹²

Single-Family, detached	Single-Family, attached	Duplex
60 ft	25 ft	60 ft

E. Minimum Lot Depth

Single-Family, detached	Single-Family, attached	Duplex
80 ft	60 ft	80 ft

⁹ Within subdivisions or condominium developments for the storage of recreational vehicles, boats, trailers, fifth wheels and other vehicles, available for use only by residents of the subdivision or condominium development.

¹⁰ Only on lots having 10,000 square feet, provided there is established in connection therewith a play lot meeting the requirements of State Statute. The play lot shall be separated from adjoining properties by a site obscuring security fence.

¹¹ Maximum building coverage (foundation plane as % of site area). The allowable building coverage increases by a ratio of 1/2 square foot for every one square foot of required parking area that is paved using a City approved porous/permeable paving material (i.e. allowing stormwater infiltration) or 1/2 square foot of City approved water quality treatment area (e.g., vegetative swale or biofiltration) on the development site.

¹² Lot area must conform to the standards. Lot dimensions may be reduced for flag lots.

F. Building Height Number/Number of Stories/Building Height Transition/Minimum Landscape Area (% of site area)

Max ¹³ Building Height	Max Number of Stories	Building Height Transition	Minimum ¹⁴ Landscape Area (% of site area)
30 ft	3 1/2	No	20%

G. Setbacks

1. Front

- a. 15 ft - Primary Building¹⁵
- b. 20 ft - Garages/Carports
- c. 10 ft - Porches, Balcony, Patio
- d. 20 ft - Accessory Structures (must be setback equal to the front setback but no less than

2. Interior Side

- a. 5 ft - Building (including garages/carports) 16' peak or less
- b. 2 ft - Porches, Balcony's & Patio's may project into a setback on buildings up to 16' peak or less
- c. 10 ft - Building (including garages/carports) over 16' in height
- d. 5 ft - Porches, Balcony's & Patio's may project into a setback on buildings over 16' in height
- e. 0 ft - Accessory Structures 199 sq ft and less¹⁶
- f. 5 ft - Accessory Structures 200 sq ft and greater
- g. 10 ft - Accessory Structures greater than 16' in height
- h. 0 ft - Common Walls/Zero Lot Lines
- i. 5 ft - Alleys

3. Street Side

- a. 15 ft - Building (including garages/carports)¹⁷
- b. 5 ft - Porches, Balcony's & Patio's may project into a setback
- c. 15 ft - Accessory Structures

¹³ The height of accessory structures shall not exceed the height of the primary structure on the property.

¹⁴ Except does not apply to single-family dwellings. Landscape area may include plant areas and some non-plant areas as allowed under Chapter 18.2.

¹⁵ Must be in compliance with Section 17.2.140.

¹⁶ For zero lot setbacks on accessory structures a fire wall shall be required on the zero setback portion of the building.

¹⁷ For single-family residences, this standard may be reduced to 6 ft where the front setback is equal to or greater than 60 feet.

4. Rear Side

- a. 15 ft - Building (including garages/carports)
- b. 5 ft - Porches, Balcony's & Patio's may project into a setback
- c. 0 ft - Accessory Structures 199 sq ft and less¹⁸
- d. 5 ft - Accessory Structures 200 sq ft and greater.
- e. 10 ft - Accessory Structures greater than 16' in height.
- f. N/A - Common Walls/Zero Lot Lines
- g. 2 ft - Alleys
- h. 30 ft - Setbacks shall be increased to the following along arterials

5. Fences, Retaining/Garden Walls

- a. 42 inches - Front Yard (from Garage setback)
- b. 6 ft - Interior Side Yard
- c. 6 ft - Rear
- d. 6 ft - Street Side

H. Permitted Uses

- 1. Single-Family (detached and attached)
- 2. Duplex
- 3. Group Home
- 4. Manufactured Home
- 5. Public park, playground, or recreational area, and buildings used in connection therewith

I. Accessory Uses

- 1. Gardening & horticultural activities & related structures for non-commercial purposes
- 2. Home Occupation, pursuant to Section 19.9.200
- 3. Garages or carports
- 4. Indoor Recreation Facilities (non commercial)
- 5. Signs, subject to requirements of Chapter 18.8
- 6. Swimming pools as outlined in Chapter 21.40
- 7. Use customarily incidental & subordinate to a PRINCIPLE use permitted outright

J. Conditional Uses

- 1. Golf Course
- 2. Governmental Building
- 3. Cemetery
- 4. Noncommercial storage areas¹⁹

¹⁸ For zero lot setbacks on accessory structures a fire wall shall be required on the zero setback portion of the building.

17.2 – Residential (R) Land Use Districts – Allowed Land Uses

5. Private, nursery, school, kindergarten, on daycare center²⁰
6. Public/Semi-Public building serving as a library, museum, or other similar purpose
7. Public, Private or Parochial School
8. Religious Institutions & Houses of Worship
9. Telecommunication facilities

17.2.114 R-3, MEDIUM DENSITY RESIDENTIAL

Development Standards

A. Density

1. Minimum 8 Dwelling Units Per Net Buildable Acre
2. Maximum 24 Dwelling Units Per Net Buildable Acre

B. Minimum Lot Area

Single Family, detached	Single-Family, attached	Duplex	Multi Family	Non-Residential Uses
5,000 sq ft	2,500 sq ft	5,000 sq ft	5,000 sq ft plus 1,500 sq ft ea additional lot	7,000 sq ft

C. Maximum Lot Coverage's²¹

Single Family, detached	Single-Family, attached	Duplex	Multi Family	Non-Residential Uses
70%	70%	70%	70%	70%

D. Minimum Lot Width²²

Single Family, detached	Single-Family, attached	Duplex	Multi Family	Non-Residential Uses
50 ft	25 ft	60 ft	80 ft	50 ft

¹⁹ Within subdivisions or condominium developments for the storage of recreational vehicles, boats, trailers, fifth wheels and other vehicles, available for use only by residents of the subdivision or condominium development.

²⁰ Only on lots having 10,000 square feet, provided there is established in connection therewith a play lot meeting the requirements of State Statute. The play lot shall be separated from adjoining properties by a site obscuring security fence.

²¹ Maximum building coverage (foundation plane as % of site area). The allowable building coverage increases by a ratio of 1/2 square foot for every one square foot of required parking area that is paved using a City approved porous/permeable paving material (i.e. allowing stormwater infiltration) or 1/2 square foot of City approved water quality treatment area (e.g., vegetative swale or biofiltration) on the development site.

²² Lot area must conform to the standards. Lot dimensions may be reduced for flag lots.

E. Minimum Lot Depth

Single Family, detached	Single-Family, attached	Duplex	Multi Family	Non-Residential Uses
80 ft	60 ft	80 ft	80 ft	80 ft

F. Building Height Number/Number of Stories/Building Height Transition/Minimum Landscape Area (% of site area)

Max ²³ Building Height	Max Number of Stories	Building Height Transition	Minimum ²⁴ Landscape Area (% of site area)
40 ft	3 1/2	Yes	10%

G. Setbacks

1. Front

- a. 20 ft - Primary Building²⁵
- b. 20 ft - Garages/Carports
- c. 10 ft - Porches, Balcony, Patio
- d. 20 ft - Accessory Structures (must be setback equal to the front setback but no less than

2. Interior Side

- a. 5 ft - Building (including garages/carports) 16' peak or less
- b. 2 ft - Porches, Balcony's & Patio's may project into a setback on buildings up to 16' peak or less
- c. 10 ft - Building (including garages/carports) over 16' in height
- d. 5 ft - Porches, Balcony's & Patio's may project into a setback on buildings over 16' in height
- e. 0 ft - Accessory Structures 199 sq ft and less²⁶
- f. 5 ft - Accessory Structures 200 sq ft and greater
- g. 10 ft - Accessory Structures greater than 16' in height
- h. 0 ft - Common Walls/Zero Lot Lines
- i. 5 ft - Alleys

²³ The height of accessory structures shall not exceed the height of the primary structure on the property.

²⁴ Except does not apply to single-family dwellings. Landscape area may include plant areas and some non-plant areas as allowed under Chapter 18.2.

²⁵ Must be in compliance with Section 17.2.140.

²⁶ For zero lot setbacks on accessory structures a fire wall shall be required on the zero setback portion of the building.

3. Street Side

- a. 15 ft - Building (including garages/carports)²⁷
- b. 5 ft - Porches, Balcony's & Patio's may project into a setback
- c. 15 ft - Accessory Structures

4. Rear Side

- a. 15 ft - Building (including garages/carports)
- b. 5 ft - Porches, Balcony's & Patio's may project into a setback
- c. 0 ft - Accessory Structures 199 sq ft and less²⁸
- d. 5 ft - Accessory Structures 200 sq ft and greater.
- e. 10 ft - Accessory Structures greater than 16' in height.
- f. 0 ft - Common Walls/Zero Lot Lines
- g. 2 ft - Alleys
- h. 30 ft - Setbacks shall be increased to the following along arterials

5. Fences, Retaining/Garden Walls

- a. 42 inches - Front Yard (from Garage setback)
- b. 6 ft - Interior Side Yard
- c. 6 ft - Rear
- d. 6 ft - Street Side

H. Permitted Uses

1. Single-Family (detached and attached)
2. Duplex
3. Manufactured Home
4. Multi-Family
5. Group Home
6. Group Facility
7. Laundry & Cleaning as an incidental use of a development, excludes dry cleaning
8. Public park, playground, or recreational area, and buildings used in connection therewith
9. Senior Housing

I. Accessory Uses

1. Gardening & horticultural activities & related structures for non-commercial purposes
2. Home Occupation, pursuant to Section 19.9.200
3. Garages or carports

²⁷ For single-family residences, this standard may be reduced to 6 ft where the front setback is equal to or greater than 60 feet.

²⁸ For zero lot setbacks on accessory structures a fire wall shall be required on the zero setback portion of the building.

17.2 – Residential (R) Land Use Districts – Allowed Land Uses

4. Indoor Recreation Facilities (non commercial)
5. Signs, subject to requirements of Chapter 18.8
6. Swimming pools as outlined in Chapter 21,40
7. Use customarily incidental & subordinate to a PRINCIPLE use permitted outright

J. Conditional Uses

1. Golf Course
2. Governmental Building
3. Bed & Breakfast
4. Cemetery
5. News Stands
6. Noncommercial storage areas²⁹
7. Private club, lodge, convent, social or recreation building or community assembly hall
8. Private, nursery, school, kindergarten, on daycare center³⁰
9. Public/Semi-Public building serving as a library, museum, or other similar purpose
10. Public, Private or Parochial School
11. Recreational Vehicle Camping Parks
12. Religious Institutions & Houses of Worship
13. Telecommunication facilities

17.2.115 R-5, HISTORIC RESIDENTIAL

Development Standards

A. Density

1. Minimum 6 Dwelling Units Per Net Buildable Acre
2. Maximum 24 Dwelling Units Per Net Buildable Acre

B. Minimum Lot Area

Single Family, detached	Single-Family, attached	Duplex	Multi Family	Non-Residential Uses
4,000 sq ft	2,500 sq ft	5,000 sq ft	5,000 sq ft plus 1,200 sq ft ea additional lot	7,000 sq ft

²⁹ Within subdivisions or condominium developments for the storage of recreational vehicles, boats, trailers, fifth wheels and other vehicles, available for use only by residents fo the subdivision or condominium development.

³⁰ Only on lots having 10,000 square feet, provided there is established in connection therewith a play lot meeting the requirements of State Statute. The play lot shall be separated from adjoining properties by a site obscuring security fence.

C. Maximum Lot Coverage's³¹

Single Family, detached	Single-Family, attached	Duplex	Multi Family	Non-Residential Uses
80%	70%	70%	70%	70%

D. Minimum Lot Width³²

Single Family, detached	Single-Family, attached	Duplex	Multi Family	Non-Residential Uses
40 ft	25 ft	50 ft	70 ft	50 ft

E. Minimum Lot Depth

Single Family, detached	Single-Family, attached	Duplex	Multi Family	Non-Residential Uses
80 ft	60 ft	80 ft	80 ft	80 ft

F. Building Height Number/Number of Stories/Building Height Transition/Minimum Landscape Area (% of site area)

Max ³³ Building Height	Max Number of Stories	Building Height Transition	Minimum ³⁴ Landscape Area (% of site area)
35 ft	3 1/2	Yes	7%

G. Setbacks

1. Front

- a. 15 ft - Primary Building³⁵
- b. 20 ft - Garages/Carports
- c. 10 ft - Porches, Balcony, Patio
- d. 20 ft - Accessory Structures (must be setback equal to the front setback but no less than

³¹ Maximum building coverage (foundation plane as % of site area). The allowable building coverage increases by a ratio of 1/2 square foot for every one square foot of required parking area that is paved using a City approved porous/permeable paving material (i.e. allowing stormwater infiltration) or 1/2 square foot of City approved water quality treatment area (e.g., vegetative swale or biofiltration) on the development site.

³² Lot area must conform to the standards. Lot dimensions may be reduced for flag lots.

³³ The height of accessory structures shall not exceed the height of the primary structure on the property.

³⁴ Except does not apply to single-family dwellings. Landscape area may include plant areas and some non-plant areas as allowed under Chapter 18.2.

³⁵ Must be in compliance with Section 17.2.140.

2. Interior Side

- a. 5 ft - Building (including garages/carports) 16' peak or less
- b. 2 ft - Porches, Balcony's & Patio's may project into a setback on buildings up to 16' peak or less
- c. 10 ft - Building (including garages/carports) over 16' in height
- d. 5 ft - Porches, Balcony's & Patio's may project into a setback on buildings over 16' in height
- e. 0 ft - Accessory Structures 199 sq ft and less³⁶
- f. 5 ft - Accessory Structures 200 sq ft and greater
- g. 10 ft - Accessory Structures greater than 16' in height
- h. 0 ft - Common Walls/Zero Lot Lines
- i. 5 ft - Alleys

3. Street Side

- a. 15 ft - Building (including garages/carports)³⁷
- b. 5 ft - Porches, Balcony's & Patio's may project into a setback
- c. 15 ft - Accessory Structures

4. Rear Side

- a. 5 ft - Building (including garages/carports)
- b. 2 ft - Porches, Balcony's & Patio's may project into a setback
- c. 0 ft - Accessory Structures 199 sq ft and less³⁸
- d. 5 ft - Accessory Structures 200 sq ft and greater.
- e. 10 ft - Accessory Structures greater than 16' in height.
- f. 0 ft - Common Walls/Zero Lot Lines
- g. 2 ft - Alleys
- h. 30 ft - Setbacks shall be increased to the following along arterials

5. Fences, Retaining/Garden Walls

- a. 42 inches - Front Yard (from Garage setback)
- b. 6 ft - Interior Side Yard
- c. 6 ft - Rear
- d. 6 ft - Street Side

H. Permitted Uses

1. Single-Family (detached and attached)

³⁶ For zero lot setbacks on accessory structures a fire wall shall be required on the zero setback portion of the building.

³⁷ For single-family residences, this standard may be reduced to 6 ft where the front setback is equal to or greater than 60 feet.

³⁸ For zero lot setbacks on accessory structures a fire wall shall be required on the zero setback portion of the building.

2. Duplex
3. Manufactured Home
4. Multi-Family
5. (Rowhouse / Townhouse)
6. Group Home
7. Group Facility
8. Laundry & Cleaning as an incidental use of a development, excludes dry cleaning
9. Public park, playground, or recreational area, and buildings used in connection therewith

I. Accessory Uses

1. Gardening & horticultural activities & related structures for non-commercial purposes
2. Home Occupation, pursuant to Section 19.9.200
3. Garages or carports
4. Indoor Recreation Facilities (non commercial)
5. Signs, subject to requirements of Chapter 18.8
6. Swimming pools as outlined in Chapter 21,40
7. Use customarily incidental & subordinate to a PRINCIPLE use permitted outright

J. Conditional Uses

1. Governmental Building
2. Bed & Breakfast
3. News Stands
4. Noncommercial storage areas³⁹
5. Private Club, lodge, convent, social or recreational building or community assembly hall
6. Private, nursery, school, kindergarten, on daycare center⁴⁰
7. Public/Semi-Public building serving as a library, museum, or other similar purpose
8. Public, Private or Parochial School
9. Religious Institutions & Houses of Worship
10. Senior Housing
11. Telecommunication facilities

³⁹ Within subdivisions or condominium developments for the storage of recreational vehicles, boats, trailers, fifth wheels and other vehicles, available for use only by residents of the subdivision or condominium development.

⁴⁰ Only on lots having 10,000 square feet, provided there is established in connection therewith a play lot meeting the requirements of State Statute. The play lot shall be separated from adjoining properties by a site obscuring security fence.

17.2 – Residential (R) Land Use Districts – Allowed Land Uses

Table 17.2.1 - Land Uses Allowed in Residential Districts				
Uses	Status of Use in District			
Use Categories	R-1	R-2	R-3	R-5
Single-Family (not attached)	P	P	P	P
1 Duplex on Corner Lot	P	P	P	P
1 Duplex on Interior Lot	N	P	P	P
Gardening & Horticulture activities & related structures for non-commercial purposes	AU	AU	AU	AU
Golf Course ⁴¹	CU	CU	CU	N
Governmental building	CU	CU	CU	CU
Home Occupation, pursuant to Section 19.9.200	AU	AU	AU	AU
Manufactured Home	P	P	P	P
Multi-Family Residential	N	N	P	P
Group Home	P	P	P	P
Group Facility	N	N	P	P
Single Family Attached	N	N	P	P
Bed & Breakfast	N	N	CU	CU
Boarding Facilities	CU	N	N	N
Cemetery	N	CU	CU	N
Garages / Carports	AU	AU	AU	AU
Indoor Recreation Facilities (non commercial)	AU	AU	AU	AU
Laundry & Cleaning as an incidental use of development (excludes dry cleaning)	N	N	P	P
News Stands	N	N	CU	CU
Noncommercial Storage Areas ⁴²	CU	CU	CU	CU
Private club, lodge, convent, social or recreational building or community assembly hall ⁴³	N	N	CU	CU
Private nursery, school, kindergarten, or daycare center ⁴⁴	N	CU	CU	CU
Public/Semi-Public building serving as a library, museum, or other similar purpose	CU	CU	CU	CU
Public park, playground, or recreation area, and buildings used in connection therewith	P	P	P	P
Public, private, or parochial school	CU	CU	CU	CU
Senior Housing	P	P	P	P
Signs, subject to requirements of Chapter 18.8	AU	AU	AU	AU
Swimming pools as outlined in Chapter 21.40	AU	AU	AU	AU
Recreational Vehicle Camping Parks	N	N	CU	N
Religious Institutions & Houses of Worship	CU	CU	CU	CU
Telecommunication Facilities	CU	CU	CU	CU
Use customarily incidental & subordinate to a PRINCIPLE use permitted outright	AU	AU	AU	AU

⁴¹

⁴² Within subdivisions or condominium developments for the storage of recreational vehicles, boats, trailers, fifth wheels and other vehicles, available for use only by residents of the subdivision or condominium development.

⁴³ Does not include those having a chief activity carried on for monetary gain.

⁴⁴ Only on lots having 10,000 square feet provided there is established in connection therewith a play lot meeting the requirements of State Statute. The play lot shall be separated from adjoining properties by a site obscuring security fence.

The development standards in Table 17.2.2 apply to all uses, structures, buildings, and development, and major remodels, in the Residential Districts.

Table 17.2.2 - Development Standards for Residential Districts (except as modified by 17.2.140 - Residential Standards)				
Standard	R-1	R-2	R-3	R-5
Density (DU/NB acre) - Minimum and Maximum	4-8	12	12-24	6-24
Minimum Lot Area (sq ft)				
Single-Family, detached	7,000	6,000	5,000	4,000
Single-Family, attached		3,000	2,500	2,500
Duplex	8,000	7,000	5,000	5,000
Multi-Family			5,000 + 1,500 ea addtl	5,000 + 1,500 ea addtl
Non-Residential Uses	7,000	7,000	7,000	5,000
Minimum Lot Width				
Single-Family, detached	60 ft	60 ft	50 ft	40 ft
Single-Family, attached		25 ft	25 ft	25 ft
Duplex	70 ft	65 ft	60 ft	50 ft
Multi-Family			80 ft	80 ft
Non-Residential Uses	80 ft	80 ft	80 ft	80 ft
Minimum Lot Depth⁴⁵				
Single-Family, detached	80 ft	80 ft	80 ft	80 ft
Single-Family, attached		60 ft	60 ft	60 ft
Duplex	80 ft	80 ft	80 ft	80 ft
Multi-Family			80 ft	80 ft
Non-Residential Uses	80 ft	80 ft	80 ft	80 ft
Maximum Lot Coverages⁴⁶				
Single-Family, detached	50%	60%	70%	80%
Single-Family, attached		60%	70%	70%
Duplex	60%	60%	70%	70%
Multi-Family			70%	70%
Non-Residential Uses	70%	70%	70%	70%
Building Height⁴⁷	30 ft	35 ft	45 ft	35 ft
Number of Stories	3 1/2	3 1/2	3 1/2	3 1/2
Building Height Transition	No	No	Yes	Yes
Minimum Landscape Area (% of site area)⁴⁸	20	20	10	7
SETBACKS⁴⁹				
Minimum Setback (ft) - Front⁵⁰				
Primary Building	15	15	15	15
Garages/Carports	20	20	20	20
Porches, Balcony, Patio	10	10	10	10

⁴⁵ Lot area must conform to the standards. Lot dimensions may be reduced for flag lots.

⁴⁶ Maximum building coverage (foundation plane as % of the site area). The allowable building coverage increases by a ratio of 1/2 sq ft for every one sq ft of required parking area that is paved using City approved porous/permeable paving material (i.e. allowing stormwater infiltration) or 1/2 sq ft of City-approved water quality treatment area (e.g., vegetative swale or biofiltration) on the development site.

⁴⁷ The height of the accessory structure shall not exceed the height of the primary structure on the property.

⁴⁸ Except does not apply to Single-Family Dwellings. Landscape area may include plant areas and some non-plant areas as allowed under Chapter 18.2.

⁴⁹ All setbacks shall be increased to 30 feet when abutting an arterial.

⁵⁰ Must be in compliance with Section 17.2.140.

17.2 – Residential (R) Land Use Districts – Allowed Land Uses

Accessory Structures (must be setback equal to the front setback but no less than)	20	20	20	20
Table 17.2.2 - Development Standards for Residential Districts (except as modified by 17.2.140 - Residential Standards)				
Standard	R-1	R-2	R-3	R-5
Minimum Setback (ft) - Interior Side				
Building (Including garages/carports) 16' peak or less	5	5	5	5
Porches, Balcony's & Patio's may project into a setback on buildings up to 16' peak or less	2	2	2	2
Building (including garages/carports) over 16' in height	10	10	10	10
Porches, Balcony's & Patio's may project into a setback on buildings over 16' in height	5	5	5	5
Accessory Structures 199 sq ft and less ⁵¹	0	0	0	0
Accessory Structures 200 sq ft and greater	5	5	5	5
Accessory Structures greater than 16' in height	10	10	10	10
Common Walls/Zero Lot Lines	0	0	0	0
Alleys	5	5	5	5
Minimum Setback (ft) Street Side				
Building (including garages/carports) ⁵²	15	15	15	15
Porches, Balcony's & Patio's may project into a setback	5	5	5	5
Accessory Structures	15	15	15	15
Minimum Setback (ft) Rear				
Building (including garages/carports)	15	15	15	15
Porches, Balcony's & Patio's may project into a setback	5	5	5	2
Accessory Structures 199 sq ft and less ⁵³	0	0	0	0
Accessory Structures 200 sq ft and greater	5	5	5	5
Accessory Structures greater than 16' in height	10	10	10	10
Common Walls/Zero Lot Lines	N/A	0	0	0
Alleys	5	5	5	5
Fences, Retaining/Garden Walls				
Front Yard (from garage setback)	42"	42"	42"	42"
Interior Side Yard	6	6	6	6
Rear	6	6	6	6
Street Side	6	6	6	6

Key:

- P = Permitted, subject to site/development review
- CU = Conditional Use Permit required
- N = Not permitted
- AU = Accessory Uses

⁵¹ For zero lot setbacks on accessory structures a fire wall shall be required on the zero setback portion of the building.

⁵² For single-family residences, this standard may be reduced to 6 feet where the front setback is equal to or greater than 60 feet.

⁵³ For zero lot setbacks on accessory structures a fire wall shall be required on the zero setback portion of the building.

17.2 – Residential (R) Land Use Districts – Development Standards

- A. All new developments shall:
1. Always avoid utility easements when building near property lines;
 2. Porches, balconies, and patios must be less than 50% enclosed on side elevations;
 3. On street side fences, retaining/garden walls the 6 foot height may be expanded to 8' with approval through a building permit.

17.2.130 RESIDENTIAL DISTRICTS - SETBACK YARDS AND BUILD – TO LINE: EXCEPTIONS, FRONTAGE LOTS, FLAG LOTS, AND COLOR PALETTES

A. Residential Yard Setbacks - Purpose

Residential setback yards provide space for private yards and building separation for fire protection/security, building maintenance, sunlight and air circulation. The setback yard standards contained in Table 17.2.120 are also intended to promote human-scale design and traffic calming by diminishing the visual presence of garages along the street and encouraging the use of pedestrian amenities such as extra-wide sidewalks in multiple family developments and in residential-commercial projects. The standards also encourage the orientation of buildings to provide street visibility for public safety and neighborhood security.

B. Setback Yards– Exceptions

The following architectural features may encroach into the setback yards by no more than 36 inches, provided that a setback of not less than thirty-six (36) inches is preserved, all applicable building and fire codes are met, and the clear vision standards in Section 18.1.200(N) are met. Eaves, chimneys, bay windows, overhangs, and similar architectural features may encroach into a setback yard by not more than 36 inches. Porches, decks and similar structures not exceeding 30 inches in height may encroach into setbacks. Walls and fences built on property lines are subject to the height standards in Table 17.1.120 and the provisions of Section 18.1.200(N), Vision Clearance, and Section 18.2.500, Fences and Walls.

The lot area, setback, or other open space, off-street parking, loading area which is required by this title for one use may not be used as the lot area, setback, other open space, off-street parking, loading area for another use, except for those sections of the development code which alleviate such requirements.

C. Setback Yards – Flag Lots

The front yard of a flag lot shall conform to one of the following:

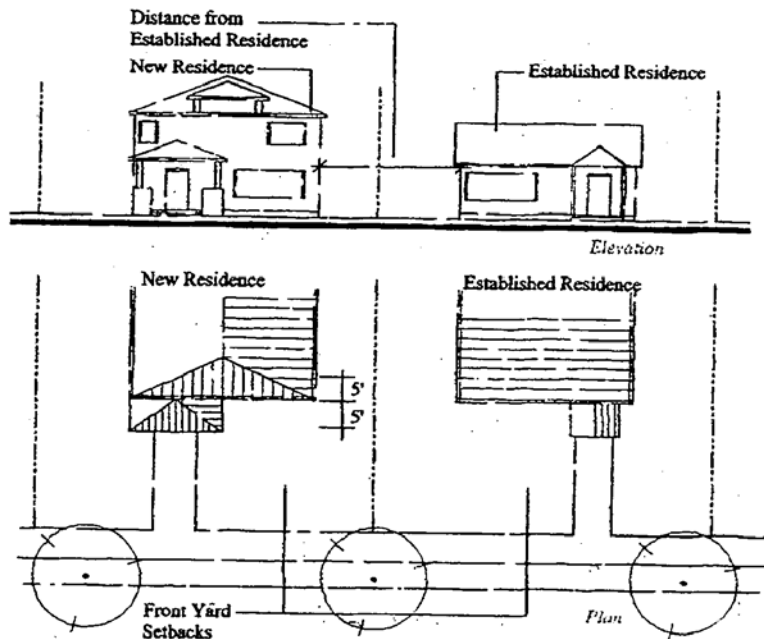
1. parallel to the street from which access is taken, or
2. parallel to the flag pole from which access is taken.

17.2.140 RESIDENTIAL DISTRICTS - INFILL STANDARDS

The purpose of Section 17.2.140 is to ensure compatibility of new development and redevelopment of existing subdivisions. The setback and building height standards in Section 17.2.140 supersede those in Table 17.2.120 when a building or partition is proposed on a subdivision lot in a Residential District that was platted prior to the effective date of this Development Code. The approval body shall use the criteria and standards in subsections A-C, below, in determining applicable setbacks and building heights.

- A. Compatibility with Yards of Adjacent Residence(s).** Except as provided in Section 17.2.140.C, when an existing single family residence is located within 40 feet of the subject site on the same side of the street, and said residence has a front yard setback that is greater than the minimum setback in Table 17.2.120, a front yard setback similar to that of the nearest single family residence(s) shall be used. “Similar” means the setback is equal to or within 10 percent of the setback provided by the nearest single family residence on the same side of the street. (Figure 17.2.140.A) For example, if the existing single family residence has a front yard setback of 30 feet, then the new building shall have a front yard setback between 27 feet and 33 feet. If the new building is to be located between two existing residences, then the setback for the new building shall be the average setback of both adjacent residences, plus or minus 10 percent.

Figure 17.2.140.A – Residential Infill Front Yards



- B. Compatibility with Building Height of Adjacent Residence(s).** Except as provided in Section 17.2.140(C), when an existing single family residence is located within 40 feet of the subject site on the same side of the street, and said residence has a building height that is less than the maximum building height allowed in Table 17.2.120, a building height similar to that of the nearest single family residence(s) shall be used. “Similar” means the building height is not more than 110 percent of the height of the nearest single family residence on the same side of the street. (Figure 17.2.140.) For example, if the existing single family residence has a height of 26 feet, then the new building shall have a height that does not exceed 28.6 feet. If the new building is to be located between two existing residences, then the height of the new building shall not exceed 110 percent of the average height of both adjacent buildings.
- C. Exception to Standard for Redevelopment Potential on Adjacent Lot(s).** The provisions of Section 17.2.140(A) do not apply when the approval body finds that the subject single family residential lots located within 40 feet of the subject site are “redevelopable.” Redevelopable, for the purposes of this Section, means a lot either has an assessed market value that exceeds the assessed market value of all improvements on the lot, based on the most recent data from the Clackamas County Assessor’s Office; or the front yard of the subject lot is large enough that it could be subdivided based on the Residential District standards.

17.2.150 RESIDENTIAL DISTRICTS - HOUSING DENSITY

A. Residential Density Standard. To ensure efficient use of buildable lands and to provide for a range of needed housing in conformance with the Comprehensive Plan, all new developments / subdivisions in the Residential Districts shall conform to the minimum and maximum densities prescribed in Table 17.2.120, except as provided below in subsections 1-3:

1. Residential care homes/facilities, senior housing, including assisted living, accessory dwellings, and subdivisions where the average slope exceeds 20 percent are exempt from the minimum density standard.
2. The density standards may be averaged over more than one development phase (i.e., as in a master planned development). Duplex lots used to comply with the density standard shall be so designated on the final subdivision plat.
3. Partitions and construction of single-family homes on lots exceeding 22,000 square feet shall be planned so that the land is used efficiently and future development on these lots or parcels can occur based on the minimum lot size and other dimensional standards of the district.

B. Residential Density Calculation.

1. Minimum and maximum housing densities are calculated using the applicable density standard.
2. Areas reserved for flag lot access (flag poles) are not counted for the purpose of calculating minimum densities.

17.2.160 RESIDENTIAL DISTRICTS LOT COVERAGE

- A. Lot Coverage Calculation.** The maximum allowable lot coverage shall be as provided in Table 17.2.120. Lot coverage is calculated as the percentage of a lot or parcel covered by buildings or structures (as defined by the foundation plan area) and other structures with surfaces greater than 36 inches above the finished grade. It does *not* include paved surface-level developments such as driveways, parking pads, and patios.

17.2.170 RESIDENTIAL DISTRICTS - BUILDING HEIGHT: MEASUREMENT, EXCEPTIONS, STEP-DOWN REQUIREMENT

Building heights shall conform to the standards in Table 17.2.120, and subsections A-C, below:

A. Building Height Measurement. Building height is measured as the vertical distance above a reference datum measured to the highest point of the coping of a flat roof, or to the deck line of a mansard roof, or to the ridgeline or highest gable of a pitched or hipped roof. The height of a stepped or terraced building is the maximum height of any segment of the building. The reference datum shall be determined by using the criteria in 1 or 2 below, whichever yields a greater height:

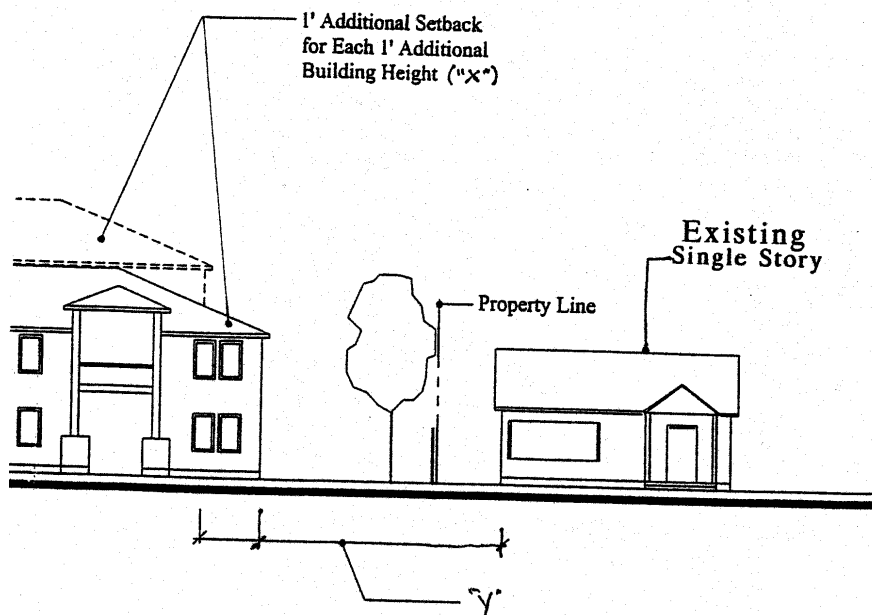
1. The elevation of the highest adjoining sidewalk or ground surface within a 5 foot horizontal distance of an exterior wall of the building when such sidewalk or ground surface is not more than 10 feet above the lowest grade;
2. An elevation 10 feet higher than the lowest grade when the sidewalk or ground surface described in subsection 1 is more than 10 feet above the lowest grade.

B. Exclusions from Maximum Building Height Standards. Radio and television antennas, utility power poles, and public safety facilities are exempt from the height limit. Chimneys, bell towers, steeples, roof equipment, flag poles, and similar features not for human occupancy, and with a width, depth, or diameter of 5 feet or less may exceed the maximum building height standards by 10 feet, or 5 feet above the highest point of the roof, whichever is greater provided that all applicable fire and building codes are met. Those projections that exceed 5 feet in width, depth or diameter are subject to the height limitations of the underlying zoning district.

C. Height Step-down – District Transition. To provide compatible scale and relationships between new multi-story buildings and existing single-story dwellings in the R-1 District, multi-story buildings and structures in R-3, HDR, R-5, CPA, C-1, C-2, C-3, M-1, M-2, CM districts shall “step-down” to create a building height transition to adjacent single-story building(s) in the R-1 District, as provided in subsections 1-3, below:

1. This standard applies to new and vertically expanded buildings and structures in any district that are within 40 feet (as measured horizontally) of an existing single-story building in the R-1 District with a height of 20 feet or less, as shown in Figure 17.2.170(C).
2. The transition standard is met when the height of the taller structure (“x”) does not exceed one (1) foot of height for every 1 foot separating the two structures (“y”), as shown in Figure 17.2.170(C).

Figure 17.2.170(C) – R-1 Height Step-Down/Transition



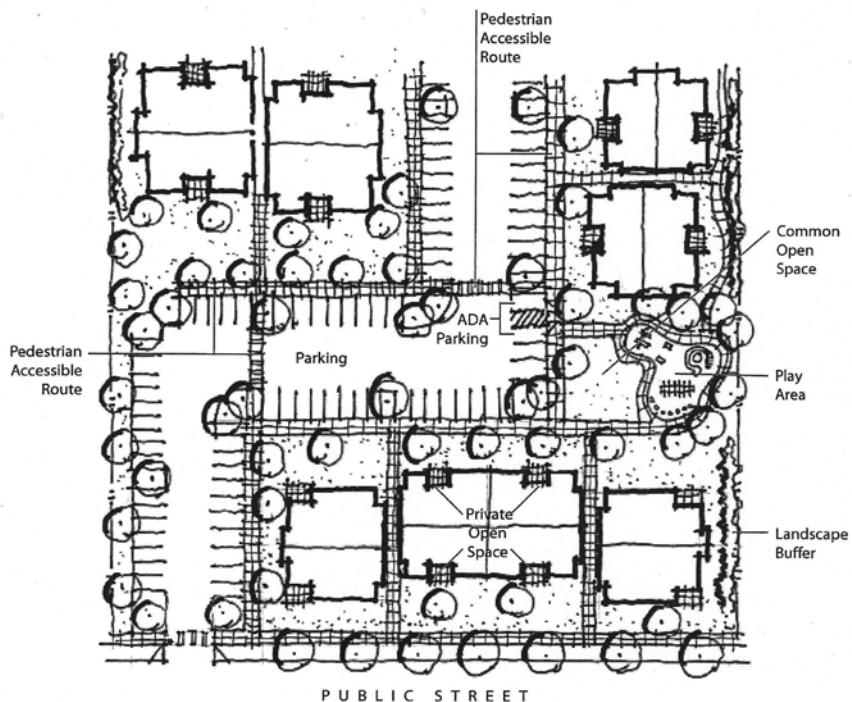
3. Exception: The provisions of subsections (1-2) above do not apply when the approval body finds that the subject single story buildings located within 40 feet of the subject site are “redevelopable.” Redevelopable, for the purposes of this Section, means a lot either has an assessed market value that exceeds the assessed market value of all improvements on the lot, based on the most recent data from Clackamas County Assessor’s Office; or the front yard of the subject lot is large enough that it could be subdivided based on the Residential District standards.

17.2.180 RESIDENTIAL DISTRICTS - BUILDING ORIENTATION

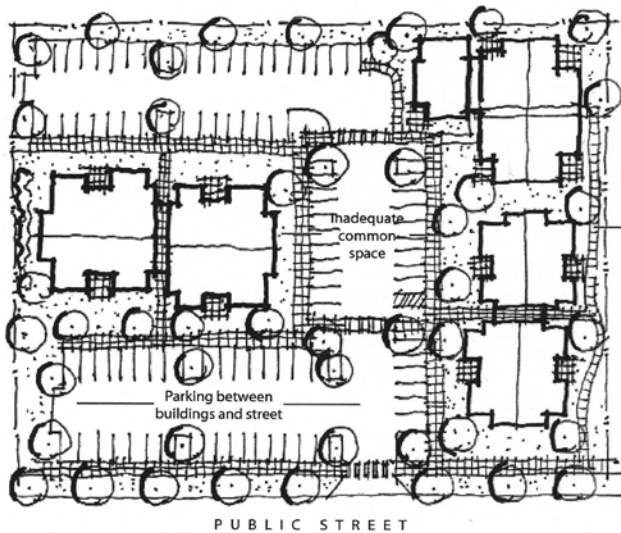
- A. Purpose.** The following standards are intended to orient buildings close to streets to promote pedestrian-oriented development where walking is encouraged. Placing residences and other buildings close to the street also encourages crime prevention, natural surveillance or security, and safety by having more “eyes-on-the-street.”
- B. Applicability.** Section 17.2.180 applies to all developments that are subject to Site Design Review, including developments that are reviewed as part of a Master Planned Development or Conditional Use application.
- C. Building orientation standards.** All developments that are subject to Section 17.2.180 shall have buildings that are oriented to a street. This standard is met when all of the following criteria are met:
1. Compliance with the setback and build-to line standards in Table 17.2.120;
 2. Except as provided in subsections 3 and 4, below, all buildings in the Residential Districts shall have at least one primary building entrance (i.e., dwelling entrance, a tenant space entrance, a lobby entrance, or breezeway/courtyard entrance serving a cluster of units or commercial spaces) facing an adjoining street, or if on a side elevation, not more than 40 feet from a street sidewalk. See Figures 17.2.180(C.1);

Figure 17.2.180.C(1) – Residential District Building Orientation

Acceptable



Not Acceptable

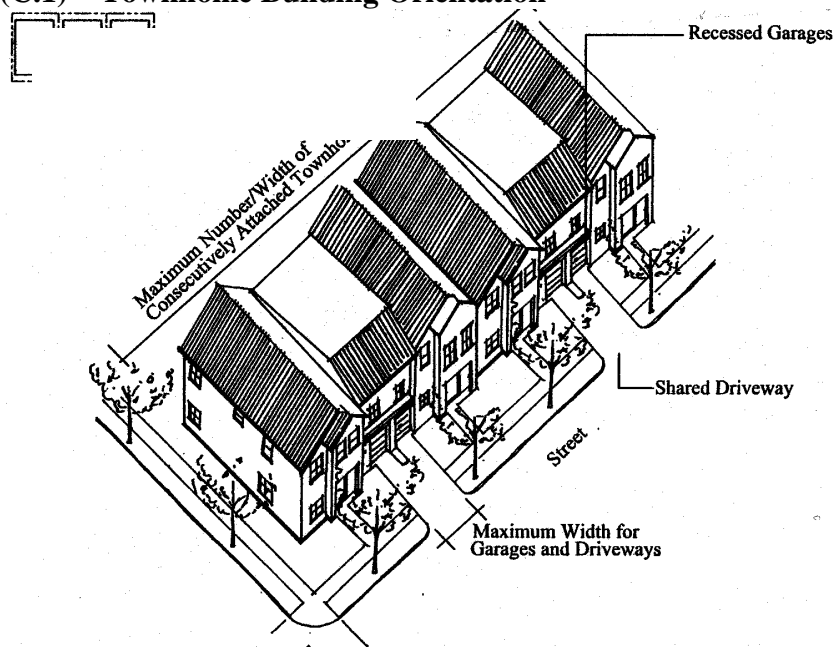


- Off-street parking, driveways, and other vehicle areas shall not be placed between buildings and the street(s) to which they are oriented, as per subsection 2 and Figure 17.2.180C(1); except the following vehicle areas are allowed where the approval body finds that they will not adversely affect pedestrian safety and convenience:

17.2 – Residential (R) Land Use Districts – Building Orientation

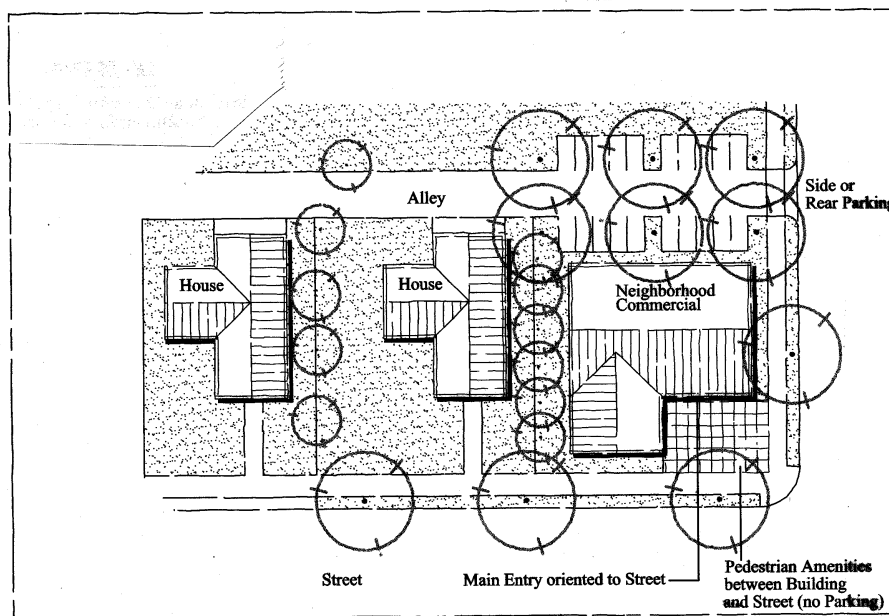
- a. Attached single family housing developments (townhomes) with street-facing garages may have one driveway access located between the street and the primary building entrance for every two dwelling units, provided they meet the following criteria, as generally shown in Figure 17.2.180(C.2):
 - 1) Where two abutting townhomes have street-facing garages, they shall share one driveway access that does not exceed 20 feet in width where it crosses the sidewalk and intersects the street;
 - 2) All primary building entrances shall be connected to a driveway (and sidewalk) via a pedestrian walkway that is not less than three feet wide;
 - 3) The maximum number consecutively attached townhomes with garages facing the same street is 4 (two driveways); and
 - 4) Street-facing garages shall be setback at least 20 feet from the street; where a building is placed less than 20 feet from the street, the 20-foot garage setback may be accomplished by recessing the garage behind the front building elevation.

Figure 17.2.180(C.1) – Townhome Building Orientation



- b. Commercial buildings and uses (e.g., neighborhood commercial or mixed-use) shall have all of their off-street parking located behind or to the side of such buildings and uses and screened from abutting properties in accordance with Chapter 3.2, as generally shown in Figure 17.2.180(C.3). Off-street parking shall not be located between any building and any street.

Figure 17.2.180(C.3) – Commercial Orientation in a Residential District

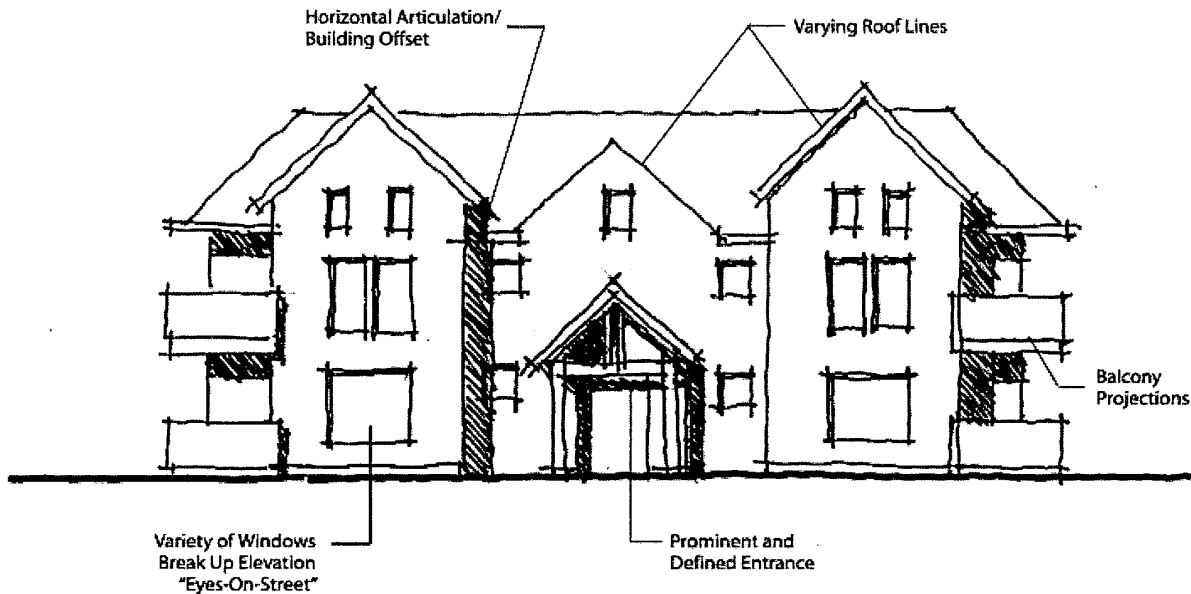


17.2 – Residential (R) Land Use Districts – Building Orientation

4. Where a development contains multiple buildings and there is insufficient street frontage to which buildings can be oriented, a primary entrance may be oriented to common green, open space, plaza, or courtyard. When oriented in this way, the primary entrance(s) and green, plaza, or courtyard shall be connected to the street by a pedestrian walkway meeting the standards in Section 18.1.300. See example in Figure 17.2.180(C.1) “acceptable site plan.”

17.2.190 RESIDENTIAL DISTRICTS - ARCHITECTURAL DESIGN STANDARDS

- A. Purpose. The architectural design standards require a minimum level of design on every building, which is intended to promote attention to detail, human-scale design and street visibility, while affording flexibility to use a variety of building styles.
- B. Applicability. Section 17.2.190 applies to all new buildings, except accessory structures. It is applied through the Land Use Review or Site Design Review procedure, as applicable, prior to building permit review and approval.
- C. Standards. All projects that are subject to Section 17.2.190 shall meet all of the standards in subsections 1-7. The graphics provided with each standard are intended to show examples of how to comply and should not be interpreted as requiring a specific architectural style. Other building styles and designs can be used to meet the standards when the approval body finds they are consistent with the text. An architectural feature (*i.e.*, as shown Figures 17.2.190(C.1 and 2) may be used to comply with more than one standard.
 - 1. Building Length. The continuous horizontal distance, as measured from end-wall to end-wall, of individual buildings shall not exceed 160 feet.
 - 2. Articulation. All buildings shall incorporate design features such as varying roof lines, offsets, balconies, projections (e.g., overhangs, porches, or similar features), recessed or covered entrances, window reveals, or similar elements to break up large expanses of uninterrupted building surfaces (blank walls). Along the vertical face of a structure, and on all building stories, such elements shall occur at a minimum interval of 30 feet, and each floor shall contain at least two elements, as generally shown in Figure 17.2.190C(2):
 - a. Recess (e.g., deck, patio, courtyard, entrance or similar feature) that has a minimum depth of 4 feet;
 - b. Extension (e.g., floor area, deck, patio, entrance, overhang, or similar feature) that projects a minimum of 2 feet and runs horizontally for a minimum length of 4 feet; and/or
 - c. Offsets or breaks in roof elevation of 2 feet or greater in height;

Figure 17.2.190(C.1) - Building Length and Articulation (Multi-family Housing Example)

3. Eyes on the Street. All building elevations visible from a street right of way shall provide prominent defined entrances, and a combination of windows, porches, and/or balconies. A minimum of 50 percent of front (*i.e.*, street-facing) elevations, and a minimum of 30 percent of side and rear building elevations shall meet this standard, as generally shown in Figure 17.2.190(C.2), above. "Percent of elevation" is measured as the horizontal plane (lineal feet) containing doors, porches, balconies, terraces and/or windows. The standard applies to each full and partial building story.

4. Detailed Design. All buildings shall provide detailed design on all street-facing walls (45 degrees or less from street lot line). Detailed design shall be provided by using at least 6 of the architectural features in items "a" through "m," below, as is appropriate for the proposed building type and style. The applicant may select the elements that he or she wants, and it is not within the approval body's authority to prescribe specific elements; except when the project is being reviewed as part of a Master Planned Development, Conditional Use Permit, or Site Design Review (item "n"), the approval body may require specific design elements or changes to promote compatibility with adjacent uses and to achieve the desired community character or pedestrian-orientation such as:
 - a. Dormers
 - b. Gables
 - c. Recessed entries
 - d. Covered porch entries or portico
 - e. Cupolas or towers
 - f. Pillars or posts
 - g. Eaves (minimum 6-inch projection)
 - h. Off-sets in building face or roof (minimum 16 inches)

- i. Window trim (minimum 3 inches wide)
 - j. Bay Windows
 - k. Balconies
 - l. Decorative patterns on exterior finish (e.g., scales/shingles, wainscoting, ornamentation, and similar features)
 - m. Decorative cornice or pediment (e.g., for flat roofs)
 - n. An alternative feature providing visual relief, similar to options a through m, as approved through Site Design Review.
5. Building Design. Developments in the R-3, R-5, and CPA zones shall incorporate traditional building materials such as natural timbers, stone, and brick.
6. Historic Buildings. Remodeling work on historical buildings shall not destroy the distinguishing character of the property and its environment.
7. Pedestrian Circulation and Access.
- a. Wherever practicable, the entry points of required access ways shall align with pedestrian crossing points along adjacent streets and with adjacent street intersections;
 - b. Shall be included where practicable and shall provide reasonably direct access to the development;
 - c. Pedestrian/bicycle access ways shall be provided to other adjacent development and to adjacent undeveloped property likely to be subdivided or otherwise developed in the future;
 - d. Accessways shall be included to:
 - 1) Connect with existing or approved accessways which abut the site, or to provide future connection(s) to abutting underdeveloped and undeveloped properties.
 - 2) Provide reasonably direct access to nearby neighborhood activity centers, transit trunk routes and other transit facilities.
 - 3) Provide reasonably direct connections from cul-de-sacs to the nearest available street or neighborhood activity center.
 - e. The length of pedestrian / bicycle accessways between public streets shall not exceed 1,000 feet
 - f. Such accessways shall be free of horizontal obstruction and shall have a 9 ½ foot vertical clearance measured from the highest point on the ground at placement.

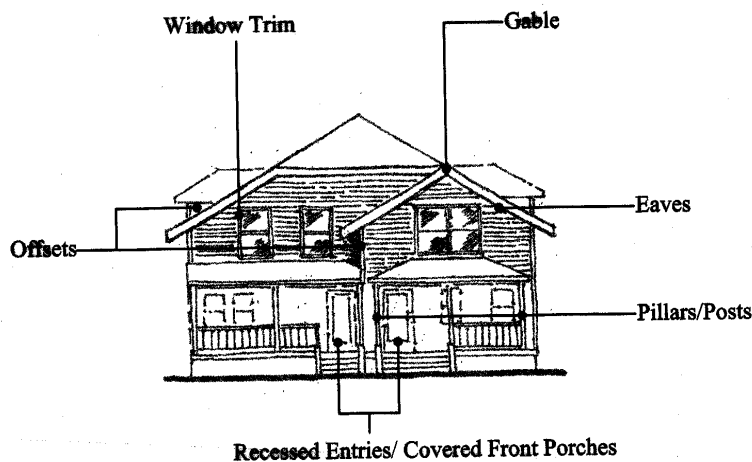
- 1) To safely accommodate both pedestrians and bicycles, the right-of-way widths of such accessways shall be as follows:
 - a) The accessways shall have a minimum 15 foot wide right-of-way with a minimum 10 foot wide paved surface.
 - b) If an accessway also provides secondary fire access or a public utility corridor, the right-of-way width shall be at least 20 feet with a minimum 15 foot wide paved surface.

- g. When the pedestrian circulation system is parallel and adjacent to an auto travel lane it shall be improved by raising the walkway or separating it from the auto travel lane by a raised curb, bollards, landscaping or other physical barrier enhancing pedestrian safety. If a raised walkway is used, the ends of the raised portions shall be equipped with curb ramps as approved in the public works design standards.

- h. Wherever practicable, accessways shall have a maximum slope of 5 percent and shall avoid the use of stairways as part of the accessway.

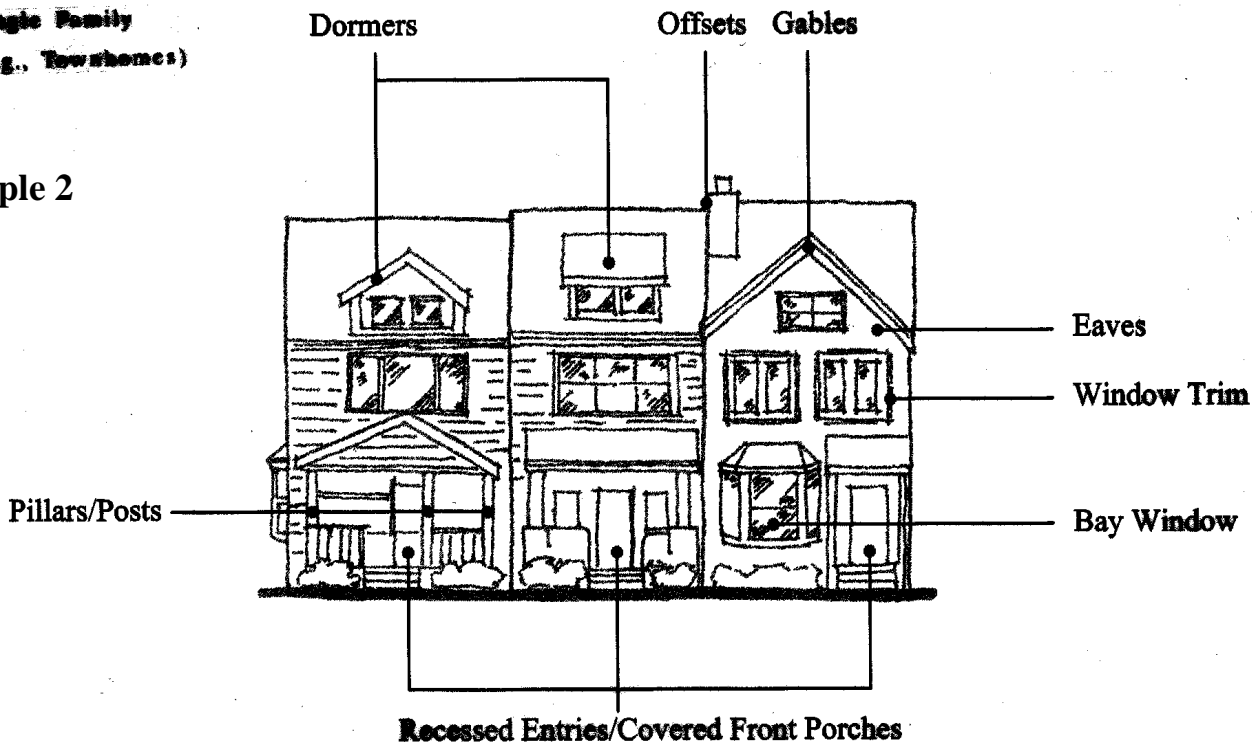
Figure 17.2.190(C.2) - Examples of Architectural Elements (illustrative only)

Example 1



**Single Family
(e.g., Townhomes)**

Example 2



Multi-Family Housing

Example 3



8. Color Palette. Development in the R-5 and CPA zones shall conform to the color palettes for building facades, building trim and signage.

- a. Colors consistent with the color palettes shall be used. When questions arise regarding color consistency the Planning Director shall determine its compatibility with the color palette charts;
- b. Base, trim and sign colors shall complement one another;
 - 1) Base. Acceptable colors shall complement one another.
 - 2) Trim.
 - a) Only those colors listed in the Trim Palette are acceptable for use on a building trim. Trim colors shall not be used on more than 15 percent of each face of a building's exterior.
 - b) Where brick, natural timber and/or stone is used on 15 percent or more of a street-facing façade, that building is entitled to display up to 20 percent of the street-facing façade with the colors listed on the trim palette.
 - 3) Signs. Signs may display up to 50 percent of each face with colors listed in the City's Sign Palette. The remaining portion of the sign shall be listed on the base color palette.
- c. Neon colors are prohibited;
- d. Interpretation. An individual may request approval of a color not shown on the color palette by following a Type I Land Use Procedure. The applicant will be required to submit the following materials for the Planning Director for review:
 - 1) A color rendering of the building illustrating the proposed color to be used;
 - 2) A color scheme of the surrounding structures;
 - 3) A narrative description explaining why the proposed color meets or can meet the intent of the color palette in question;
 - 4) Only those colors listed in each of the respective color palettes will be allowed, however, the acceptability of "similar" or "like" colors will be left to the interpretation of the hearing body. Color palette interpretation will be process in the same manner as code language interpretation outlined in Chapter 19.8.

17.2.200 – RESIDENTIAL DISTRICTS – SPECIAL USE STANDARDS

Section 17.2.200 provides standards for specific land uses and building types, as identified in Table 17.2.110, that control the scale and compatibility of those uses within the Residential District. The standards in Section 17.2.200 supplement (are in addition to and do not replace) the standards in Sections 17.2.100 through 17.2.190. This Section applies to the following uses and building types, as specified in subsections A-J:

- Attached Single Family (Townhouses or Row houses) and Duplexes
- Bed and Breakfast Inns
- Group Living (Residential Care Homes and Facilities)
- Home Occupations
- Manufactured Homes
- Manufactured/Mobile Home Parks
- Multiple Family Housing
- Zero-Lot Line Housing (not common wall)
- R-5, Historic Residential Zone
- Equestrian Residential
- Golf Courses
- Community Planning Area

A. Attached Single Family (Townhouses and Row houses) and Duplexes. Single-family attached housing with three or more dwellings (lots), and attached duplex housing (two or more consecutively attached duplexes), shall comply with the standards in sections 1-2, below, which are intended to control development scale; avoid or minimize impacts associated with traffic, parking, and design compatibility; and ensure management and maintenance of common areas.

1. Alley Access Required for Subdivisions Principally Containing Townhomes or Duplexes. Subdivisions, or phases of subdivisions, proposed to contain 3 or more consecutively attached single family dwellings, and developments with 2 or more attached duplexes (4+ dwelling units), shall provide vehicle access to all such lots and units from an alley or parking court. Alley(s) and parking court(s) shall be created at the time of subdivision approval, and may be contained in private tracts or, if approved by the City, in public right-of-way, in accordance with Section 18.4.100, Transportation Standards, and

Chapter 19..3, Land Divisions.

2. Common Areas. Any common areas (*e.g.*, landscaping, private tracts, common driveways, private alleys, building exteriors, and/or similar common areas) shall be owned and maintained by a homeowners association or other legal entity. A copy of any applicable covenants, restrictions and conditions shall be recorded and provided to the city prior to building permit approval.
3. Configuration and Facades. Primary dwelling front facades shall be designed with at least two balconies or bay windows. Facades facing a public street or designated access way shall not consist of a blank wall. Window trim shall not be flush with exterior wall treatment. Windows shall be provided with an architectural surround at the jamb, head and sill.
4. Entries and Porches. Porches are required for each unit and must be located immediately adjacent to the primary entry. Porches may be located within 15 feet of the street. Porches must cover at least 50 percent of the primary façade (not including the garage) with a net depth of at least 6 feet.
5. Roofs. Hipped, gambrel or gabled roofs are required. Flat, sheet metal, plastic, or Spanish tile are not permitted roof types.
6. Accessory Dwellings.
 - a. A maximum of two accessory structures may be permitted subject to lot coverage limitations.
 - b. An accessory structure and its projections shall be detached and separated from other structures by at least three feet.
 - c. Accessory structures shall be built with the same material and in the same style as the primary structure.
 - d. Only one accessory structure may exceed 100 square feet in area. Those greater than 100 square feet shall meet the following requirements:
 - 1) The accessory structure shall be constructed with similar exterior building materials as that to the primary dwelling.
 - 2) The square footage of the accessory structure shall not exceed either 500 square feet or the square footage of the ground floor of the primary dwelling, whichever is less.
 - e. The accessory structure shall not exceed either 16' in height or the height of the primary dwelling whichever is less.
 - f. Accessory structures shall not be placed between the front façade of the primary unit and the front lot line.

17.2 – Residential (R) Land Use Districts – Special Use Standards: Attached Single Family/Duplexes

7. Off-Street Parking. At least one off-street parking space shall be located in a garage. No required parking or loading space shall be used for storing a recreational vehicle, camper, or boat.
8. Garage / Driveway Requirements. Garages shall be located off of Alley's whenever feasible. Garages and driveways shall also abide by the following requirements:
 - a. A front access attached garage contained within the dwelling structure shall be recessed at least two feet behind the front façade (not including porches, bays and other architectural features) and at least twenty feet from the street right-of-way.
 - b. Front facades, which are above front access garages, shall have one or more windows or an architectural feature placed above the garage opening.
 - c. If located in the front, the garage opening and the driveway shall not exceed a width of ten feet.
 - d. Tandem (end-to-end) parking is permitted.

B. Bed and Breakfast Inns. Bed and Breakfast Inns are permitted in the R-2, R-3, R-4, and R-5 Residential Districts, and shall comply with all of the following standards.

1. Accessory Use. The use must be accessory to a household already occupying the structure as a residence.
2. Maximum Size. In the R-2 zone, 4 bedrooms for guests, and a maximum of 8 guests are permitted per night; in the R-3, R-4, and R-5 zones, 12 bedrooms are allowed for guests, with a maximum of 24 guests per night. No separate structures are permitted, except for customary residential accessory structures.
3. Length of Stay. Maximum length of stay is 28 days per guest; anything longer is classified as a hotel or commercial lodging.
4. Employees. Up to 2 non-resident employees. There is no limit on residential employees.
5. Food Service. May be provided only to overnight guests of the business.
6. Owner-Occupied. Shall be owner-occupied.
7. Signs. Signs shall not exceed a total of 4 square feet of surface area on all sides.
8. Business License. The Conditional Use Permit for a Bed and Breakfast Use or Vacation Rental Unit must be renewed every 2 years.

C. Group Living (Residential Care Homes and Facilities). Residential care homes are residential treatment or training homes or adult foster homes licensed by the State of Oregon. They may provide residential care alone, or in conjunction with treatment and/or training, for 5 or fewer individuals (“homes”) or 6 to 15 individuals (“facilities”) who need not be related. Staff persons required to meet State licensing requirements is not counted in the number of facility residents and need not be related to each other or the residents. Residential care homes and facilities shall comply with the following standards, consistent with ORS 197.660-.670:

1. Licensing. All residential care homes and facilities shall be duly licensed by the State of Oregon.
2. Parking. Parking in accordance with Chapter 18.3.
3. Site Development Review. Site Development Review shall be required for new structures to be used as residential care homes or facilities, to ensure compliance with the licensing, parking, and other requirements of this Code.

D. Home Occupations. The purpose of this Section is to encourage those who are engaged in small commercial ventures that could not necessarily be sustained if it were necessary to lease commercial quarters, or which by the nature of the venture, are appropriate in scale and impact to be operated within a residence. Home occupations are activities accessory to uses in the residential districts and special regulations apply to ensure that home occupations will not be a detriment to the character and livability of the surrounding neighborhood. These regulations ensure that the home occupation remains subordinate to the residential use, and that the residential viability of the dwelling is maintained. Two types of home occupations are contemplated by this Code: 1) Type I Home Occupations, and 2) Type II Home Occupations. Home Occupations shall follow the regulations under Section 19.9.200.

Type I Standards for Home Occupations

1. Appearance of Residence:
 - a. The home occupation shall be restricted to lawfully-built enclosed structures and be conducted in such a manner as not to give an outward appearance of a business.
 - b. The home occupation shall not result in any structural alterations or additions to a structure that will change its primary use or building code occupancy classification.
 - c. The home occupation shall not violate any conditions of development approval (*i.e.*, prior development permit approval).
 - d. No products and or equipment produced or used by the home occupation may be displayed to be visible from outside any structure.

2. Storage:

- a. Outside storage, visible from the public right-of-way or adjacent properties, that exceeds what is customary for a single family residence in the vicinity, is prohibited.
- b. On-site storage of hazardous materials (including toxic, explosive, noxious, combustible or flammable) beyond those normally incidental to residential use is prohibited.
- c. Storage of inventory or products and all other equipment, fixtures, and activities associated with the home occupation shall not be allowed in any structure.

3. Employees:

- a. No employees other than family members residing within the dwelling located on the home occupation are allowed. As used in this chapter, the term “home occupation site” means the legal lot on which the home occupation is conducted.
- b. The home occupation site shall not be used as a headquarters for the assembly of employees for instruction or other purposes, including dispatch of employees to other locations.

4. Advertising and Signs: Signs shall comply with all applicable sign regulations for the district in which the home occupation occurs. In no case shall a sign in the Residential District exceed six square feet of surface area on all sides. Vehicles shall not bear the name of the home based business as in an attempt to circumvent these requirements.

5. Vehicles, Parking and Traffic:

- a. No vehicle which requires a commercial driver’s license to operate may be parked at the site.
- b. No heavy equipment may be parked or stored at the site.
- c. No more than one commercial truck or vehicle associated with the home occupation is allowed at the home occupation site. It shall be of a size that would not overhang into the public right-of-way when parked in the driveway or other location on the home occupation site.
- d. There shall be no more than three commercial vehicle deliveries to or from the home occupation site daily. There shall be no commercial vehicle deliveries during the hours of 8pm to 8am. Vehicles for delivery and pick-up are limited to those normally servicing residential neighborhoods.

17.2 – Residential (R) Land Use Districts – Special Use Standards: Home Occupations

- e. There shall be no more than one client's or customer's vehicle at any one time and no more than eight per day at the home occupation site. Customer visits are limited to the hours from 8am to 8pm daily.
 - 1) One additional customer may overlap an existing customer by no more than 1/2 hour.
6. Business Hours. There shall be no restriction on business hours, except that clients or customers are permitted at the home occupation from 8 a.m. to 8 p.m. only, Monday through Friday subject to subsections 1 and 5, above.
7. Prohibited Home Occupation Uses:
 - a. Any activity that produces radio, TV, or other electronic interference; noise, glare, vibration, smoke, or odor beyond allowable levels as determined by local, state or federal standards, or that can be detected beyond the property line; is prohibited.
 - b. Any type of repair or assembly of vehicles or equipment with internal combustion engines such as, but not limited to; autos, motorcycles, scooters, snowmobiles, outboard marine engines, lawn mowers, chain saws, other small engines, large appliances such as; washing machines, dryers, and refrigerators or any other work related to automobiles and their parts, as an occupation, is prohibited.
 - c. Any activity involving on-site retail sales, including garage sales, is prohibited, except that the sale of items that are incidental to a permitted home occupation is allowed. For example, the sale of lesson books or sheet music from music teachers, art or craft supplies from arts or crafts instructors, computer software from computer consultants, and similar incidental items for sale by home business is allowed subject to 1-6, above.
 - d. Garages shall remain available for parking and shall not be used for the home occupation to a level that does not allow the garage to be used for its primary function which is to house a vehicle.
 - e. The following uses and uses with similar objectionable impacts because of motor vehicle traffic, noise, glare, odor, dust, smoke or vibration, are prohibited:
 - 1) Ambulance service;
 - 2) Animal hospital, veterinary services, kennels or animal boarding;
 - 3) Auto and other vehicle repair, including auto painting; and
 - 4) Repair, reconditioning or storage of motorized vehicles, boats, recreational vehicles, airplanes or large equipment on-site.

17.2 – Residential (R) Land Use Districts – Special Use Standards: Home Occupations

8. Enforcement: The Planning Director or designee may visit and inspect the site of a home occupation in accordance with this chapter periodically to ensure compliance with all applicable regulations, during normal business hours, and with reasonable notice, in accordance with Chapter 16.6.
9. Exemptions: Family daycare for up to 12 children, including the children of the provider, is exempt from the regulations of this chapter. No more than one home occupation may be established per dwelling unit.
10. Noise: No home occupation shall generate noise which is in violation of the cities noise ordinance. Documentation shall be made during the application process of any tools or devices that may be used that generates noise. The documentation shall agree that all machinery shall be in compliance of the cities noise ordinance.

Type II Standards for Home Occupations

Type II home Occupations shall meet the requirements of the Type I Home Occupation with an exception to the Employee's section. The change between a Type II Home Occupation permit is listed below.

1. Employees:
 - a. Type II Home Occupations allow the employment of no more than one individual, who may work during hours when customers are allowed at the site.
 - b. An employee may not be used when a resident is absent from the location for more than 30 days in any calendar year.

E. Manufactured Homes. Manufactured homes are permitted on individual lots, subject to all of the following design standards. Exception: The following standards do not apply to units that exist prior to the date of this Code.

1. Floor Plan. The manufactured home shall be multi-sectional and have an enclosed floor area of not less than 1,000 square feet;
2. Roof. The manufactured home shall have a pitched roof with a slope not less than 3 feet in height for each 12 feet in width (14 degrees);
3. Residential Building Materials. The manufactured home shall have exterior siding and roofing which in color, material and appearance are similar or superior to the exterior siding and roof material used throughout the community (*e.g.*, horizontal wood or wood-appearance siding is considered “superior” to metal siding and roofing);
4. Garages and Carports. The manufactured dwelling shall have a garage, or carport constructed of like materials used on the house;
5. Thermal Envelope. The manufactured home shall be certified by the manufacturer to meet the thermal envelope requirements equivalent to those for a single-family dwelling constructed under the State Building Code;
6. Placement. The manufactured home shall be placed on an excavated and back-filled foundation and enclosed at the perimeter such that the manufactured home is located not more than 12 inches above grade, and complies with the minimum set-up standards of the adopted state Administrative Rules for Manufactured Dwellings, OAR Chapter 918. Where the building site has a sloped grade, no more than 12 inches of the enclosing material shall be exposed on the uphill side of the home;
7. Foundation Skirt. The foundation area of the manufactured home shall be fully skirted.
8. Development Standards. Manufactured homes are subject to the same development standards, architectural requirements and minimum size requirements to which a conventional single-family residential dwelling on the same lot would be subject to;
9. Prohibited. The manufactured home shall not be located in a designated historic district.
10. Used as a Permanent Residence. The use of a manufactured home as a permanent residence for a night watchman or caretaker shall be process subject to the provisions of Section 17.2.100(E). In addition, such use shall meet the following requirements:
 - a. An improved parking area shall be provided on the manufactured home site.
 - b. Landscaping shall be provided on the manufactured home site.

11. The following standards apply to manufactured homes on individual lots within Planned Unit Developments and Historic District Overlays manufactured homes:
 - a. Have a minimum eave extension of 6 inches;
 - b. Utilize at least 5 of the following design features to provide visual relief:
 - 1) Dormers
 - 2) Gables
 - 3) Recessed Entries
 - 4) Covered Porch Entries
 - 5) Cupolas
 - 6) Bay or Bay Windows
 - 7) Garage
 - 8) Window Shutters
 - 9) Sky Lights
 - 10) Attached Deck
 - 11) Offsets on building face or roof (min. 16 inches)
 - 12) Roof pitch of 5/12 or greater
 - 13) Minimum eave extension of 12 inches, including gutters

F. Manufactured/Mobile Home Parks. Manufactured/mobile home parks (not including recreational vehicles) are permitted in the R-2 and R-3 zones on parcels a minimum of one acre and a maximum of 2 acres in size, subject to compliance with subsections 1-5, below:

1. Permitted uses: Single family residences, manufactured home park manager’s office, home occupations, and accessory structures that are necessary for the operation and maintenance of the manufactured dwelling park (*e.g.*, landscape maintenance). No new parks shall be established without first receiving approval of the Planning Commission.
2. Space. The minimum size pad or space for each dwelling is 2,500 square feet, provided that the overall density of the park does not exceed 11 units per acre. Each space shall be at least 30 feet wide and 40 feet long, in accordance with ORS 446.100(c).
3. Setbacks and Building Separation. The minimum setback between park structures and abutting properties is 5 feet. The minimum setback between park structures and public street right-of-way is 25 feet. At least a 10-foot separation shall be provided between all dwellings. Dwellings shall be placed a minimum of 14 feet apart where flammable or combustible fuel is stored between units. Park structures shall be placed no closer than 5 feet to a park street or sidewalk/pathway. An accessory structure shall not be located closer than 6 feet to any other structure or dwelling, except that a double carport or garage may be built which serves 2 dwellings. When a double carport/garage is built, the carport/garage shall be separated from all adjacent structures by at least 3 feet.

4. Perimeter landscaping. Manufactured dwelling parks shall be screened or buffered from adjacent property by:
 - a. 6 foot tall sight obscuring fence/wall, except in vision clearance areas.
 - b. Provide evergreens or other suitable plantings as approved by the Planning Director.
 - c. Fifteen foot wide vegetative buffer around the perimeter of the development and along all rights-of-way.

A landscaping plan drawn to scale shall be submitted with the preliminary plan showing the following:

- 1) Every mobile home park shall provide a visual buffer of evergreen, or other screening/planting, along all boundaries of the mobile home park site abutting public records or property lines except for points of ingress and egress, with the exception of dwellings fronting and accessing a public dedicated street. Plantings shall not be less than 5 feet in height at time of planting and shall be maintained in a healthy, living condition for the life of the mobile home park.
 - 2) Landscaping shall be provided within the front and side yard setback areas, and all open areas in the mobile home park not otherwise used.
 - 3) The landscaping plan shall show the location of all landscaped materials and include plant material, total number of individual plants being used, and proposed watering system. Watering systems shall be installed to assure landscaping success. If plantings fail to survive, it is the responsibility of the property owner to replace them.
5. Accessory Structures. Normal accessory structures such as storage buildings, carports, cabanas, armadas and awnings may be located within a manufactured home lot.
 - a. Such accessories shall comply with setback requirements and be subject to State rules regulating construction and installation of manufactured home buildings and structures.
 - b. These accessories shall be considered as part of the manufactured home for determining the lot setbacks and other requirements.
 6. Requirements. The rules and regulations governing manufactured / mobile homes and facilities contained in ORS Chapter 446 and the Oregon Administrative Rules (OAR) shall apply to manufactured / mobile home parks. In addition to the provisions of this code, each application for a mobile home park shall provide description form the applicant explaining how it complies with ORS and OAR's rules governing such developments.

17.2 – Residential (R) Land Use Districts – Special Use Standards: Manufactured/Mobile Home Parks

7. Approval Procedures. Manufactured home park applications shall be processed as a conditional use following Type III land use procedures.
8. Installation. Each manufactured home shall have 120 square feet of one or more wooden decks or slabs of patios of concrete, flagstone or equivalent material and one unit pad of crushed rock or greater, having a minimum size of 10 feet by 50 feet. Each manufactured home shall sit on a concrete pad. All mobile homes within the park shall be provided with skirting.
9. Street. Each lot in the park shall have direct access to a park street. Park streets shall meet the following criteria:
 - a. Park streets shall be continuous, connect to a public street and have a minimum width of 25 feet.
 - b. The point of access from park streets to public streets shall be at least 36 feet in width.
 - c. Park streets shall be improved to flag lot standards for the base.
 - d. The point of access from a lot to a park street shall be an unobstructed access no less than 14 feet in width.
 - e. A paved public sidewalk of not less than 5 feet in width shall be provided from each mobile home site to the public and private streets, common open spaces, recreational areas, and community owned buildings and facilities.
10. Parking. Each lot shall provide two off-street parking spaces. A minimum of one covered parking space per dwelling unit shall be provided. The unobstructed access to each manufactured home lot shall be used for parking.
11. Lighting. Streets and walkways designed for the general use of residents of the manufactured home park shall be lit during hours of darkness. Such lighting shall be installed in accordance with regulations adopted by the City.
12. Preliminary Site Plan Review. The application for a preliminary site plan review for a mobile home park shall be filed with the Planning Department on a form obtained from the Planning Director and shall be accompanied by a site plan showing the general layout of the entire mobile home park and drawn to a scale not smaller than one inch representing 50 feet. The drawing shall show the following information:
 - a. Name of the property owner, the applicant, and the person who prepared the plan.
 - b. Name of the mobile home park and address.
 - c. Scale and north point of the plan.

17.2 – Residential (R) Land Use Districts – Special Use Standards: Manufactured/Mobile Home Parks

- d. Vicinity map showing relationship of mobile home park to adjacent properties.
 - e. Boundaries and dimensions of the mobile home park.
 - f. Location and dimensions of each mobile home site, with each site designated by number, letter, or name.
 - g. Location and dimensions of each existing or proposed structure.
 - h. Location and width of parks streets.
 - i. Location and width of walkways.
 - j. Location of each lighting fixture.
 - k. Location of recreational areas and buildings.
 - l. Location and type of landscaping plantings, fence, wall, or combination of any of these, or other screening materials.
 - m. Location of point where mobile home park water system connects with the public system.
 - n. Location of available fire and irrigation hydrants.
 - o. Location of public telephone service for the park.
 - p. Enlarged plot plan of a typical mobile home site, showing location of the pad, patio, storage space, parking, sidewalk, utility connections, and landscaping.
13. Final Site Plan Submission Requirements. At the time of application for final approval to construct a new mobile home park, or expansion of an existing mobile home park, the applicant shall submit copies of the following required detailed plans to the appropriate reviewing departments and agencies:
- a. New Structures.
 - b. Water supply and sewage disposal system.
 - c. Electrical systems.
 - d. Road, sidewalk, and patio construction.
 - e. Drainage system.
 - f. Recreation Area Improvements.

17.2 – Residential (R) Land Use Districts – Special Use Standards: Manufactured/Mobile Home Parks

14. Separation. New parks shall be placed at least 500 feet from another mobile home park.

15. Other Site Requirements:

- a. **Recreational Area:** Recreation areas for the residents shall be provided with a minimum of 100 square feet for each mobile home site; however, every mobile home park shall have no less than a minimum of 5,000 square feet of common play area, which shall be maintained in a clean, usable, and safe condition.
- b. **Accessories:** Accessory structures located on a mobile home site shall be limited to the normal accessories such as an awning, cabana, ramada, patio, carport, garage, or storage building. No other structural additions shall be built onto or become part of any mobile home, and no mobile home shall support any building in any manner.
- c. **Utilities:** All utilities including sewer, water, power, cable, telephone, and others shall be placed underground. Utilities shall be designed by a State of Oregon licensed engineer and shall be reviewed and approved by the City Engineer.
- d. **Drainage:** A drainage plan to facilitate storm water runoff shall be prepared by a State of Oregon licensed engineer and shall be reviewed and approved by the City Engineer.
- e. **Trash Areas:** All mobile home parks shall have shared trash and rubbish facilities and these area must also contain areas for recycling. These facilities shall be visually screened.
- f. **Lighting:** Artificial lighting shall not glare, deflect, or reflect onto adjacent residential zones and residential uses in the park nor be unnecessarily bright. Also the lighting shall meet the requirements of the Molalla Municipal Code's Dark Sky's Ordinance.
- g. **Addressing:** Address identification shall be standardized throughout the park. The park owners shall be required to provide the addresses and maintain them. The numbers must be 4 inches in size and labeled in the vertical reading position (reading left to right).

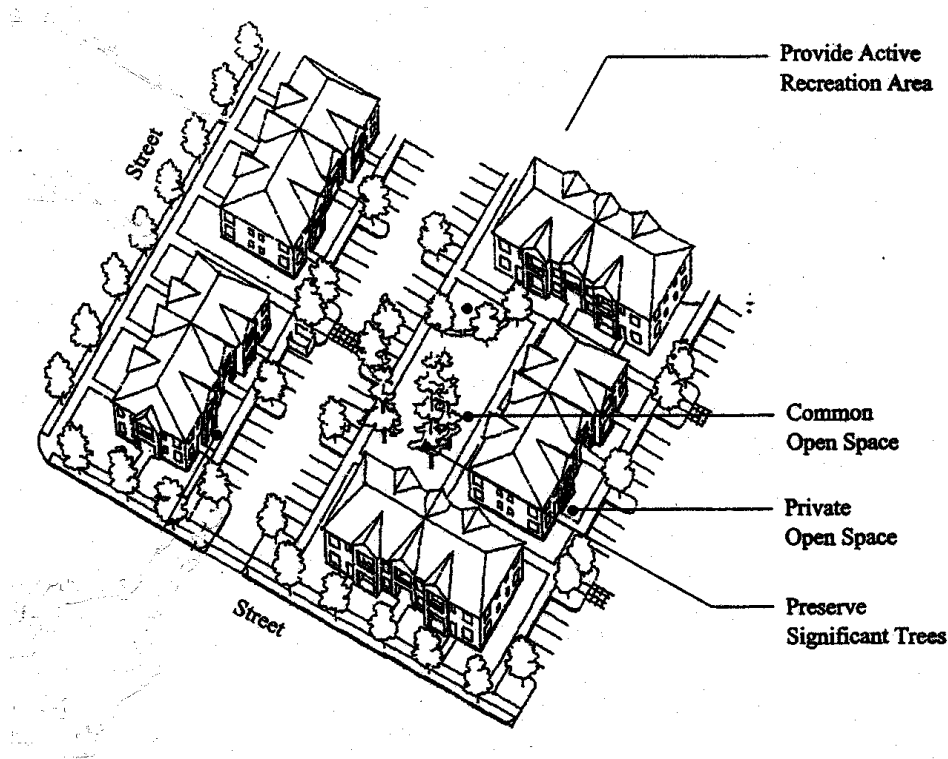
G. Multiple Family Housing. Where multi-family housing is allowed, it shall conform to all of the following standards, which are intended to promote livability for residents and compatibility with nearby uses. Figure 17.2.200.H provides a conceptual illustration of the requirements listed below.

1. **Building mass.** The maximum width or length of a multiple family building shall not exceed 160 feet from end-wall to end-wall, not including outdoor living areas (*e.g.*, porches, balconies, patios, and similar unenclosed spaces).
2. **Common open space.** A minimum of 10 percent of the site area shall be designated and permanently reserved as common open space in multiple family developments with more than 20 dwellings, in accordance with all of the following criteria:
 - a. The site area is defined as the lot or parcel on which the development to be located, after subtracting any required dedication of street right-of-way and other land for public purposes (*e.g.*, public park or school grounds, etc.);
 - b. In meeting the common open space standard, the multiple family development shall contain one or more of the following: outdoor recreation area, protection of sensitive lands (*e.g.*, trees preserved), play fields, outdoor playgrounds, outdoor sports courts, swim pools, walking fitness courses, pedestrian amenities, or similar open space amenities for residents.
 - c. Historic buildings or landmarks that are open to the public may count toward meeting the common open space requirements when approved by the Planning Commission / Design Review Board;
 - d. To receive credit under Section 17.2.200(G), a common open space area shall have an average width that is not less than 20 feet and an average length that is not less than 20 feet;
 - e. Projects in the mixed use residential-commercial districts that provide pedestrian amenities between primary building entrance(s) and adjoining street(s) are required to provide a minimum of 5 percent of the site in common open space;
 - f. The approval body may waive the common open space requirement for the first 25 dwelling units in a multiple family project that is located within one-quarter mile (measured walking distance) of a public park, and there is a direct, accessible (*i.e.*, Americans With Disabilities Act-compliant), lighted pedestrian walkway or multi-use pathway connecting the site to the park. If the park is not developed, or only partially developed, the approval body may require the multiple family housing developer to improve park land in an amount comparable to that which he or she would otherwise be required to provide in his or her development.
3. **Private open space.** Private open space areas shall be required for ground-floor and upper-floor housing units based on all of the following criteria:

17.2 – Residential (R) Land Use Districts – Special Use Standards: Zero-Lot Line Housing

- a. A minimum of 60 percent of all ground-floor housing units shall have front or rear patios or decks measuring at least 48 square feet. Ground-floor housing means the housing unit entrance (front or rear) is within 5 feet of the finished ground elevation (*i.e.*, after grading and landscaping);
4. Perimeter Buffer. The perimeter buffer shall be a minimum of 4 feet in width. The buffer shall consist of permanently maintained vegetation and may be enclosed by a sight-obscuring fence. Such vegetation and fence shall not exceed the allowable heights and other provisions of the code.
5. Recreational Facilities. Developments shall provide at a minimum of 200 square feet of improved recreation space per dwelling unit.
6. Automobile. The following criteria shall be required to address the automobile:
 - a. Develop clear separation of living and parking areas.
 - b. Avoid breaking up the site into small building sites surrounded by parking or driveways.
 - c. Parking areas should be provided in discreet bays, or depressed courts, rather than vast “parking lots”
 - d. Parking areas shall be screened from the street view and from interior activity areas.
 - e. Parking and driveways shall be located so that the noise and fumes from automobiles will minimize disturbance to neighborhoods and residents of the development.
 - f. The development of landscape treatments, pedestrian paths, recreation areas, patios and the like shall be included in the development plan.
 - g. Private handicapped parking stalls shall be located near entrances.
7. Building Materials. The building materials and paint colors should be compatible with the surrounding area. Bright colors intended to attract attention to the buildings shall be discouraged.
8. Design Scheme. False front style of building design shall be avoided. A design scheme shall be throughout the building, not just on the street elevation.

Figure 17.2.200H – Examples of Multiple Family Open Space



9. Trash Receptacles. Trash receptacles shall be oriented away from building entrances, setback at least 10 feet from any public right-of-way and adjacent residences and shall be screened with an evergreen hedge or solid fence or wall of not less than 6 feet in height. Receptacles must be accessible to trash pick-up trucks.

H. Zero-Lot Line Housing. Zero-lot line houses are subject to the same standards as non-attached single family housing, except that a side yard setback is not required on one side of the lot, as generally shown in Figure 2.2.200(H-1). The standards for zero-lot line housing are intended to ensure adequate outdoor living area, compatibility between adjacent buildings, and access to side yards for building maintenance. All zero-lot line houses shall conform to all of the criteria in subsections 1-4, below:

1. Site Design Review Required. Site Design Review is required for new zero-lot line developments. When a zero-lot line development is proposed as part of a Land Division, Master Planned Development, or other application, the Site Design Review may be combined with the other application(s).
2. Setbacks for Primary and Accessory Structures. The allowance of a zero (0) side yard setback is for one single family dwelling on each lot; it does not extend to accessory structures which shall conform to the applicable setback requirements of the zone;

17.2 – Residential (R) Land Use Districts – Special Use Standards: Zero-Lot Line Housing

3. Setbacks Adjacent to Non-Zero Lot Line Development. When a zero-lot line house shares a side property line with a non-zero lot line development, the zero-lot line building shall be setback from that common property line by not less than 10 feet;

4. Building Orientation and Design.

The building placement and/or design shall encourage privacy for the occupants of abutting lots. For example, this standard can be met by staggering foundation plans, by placing windows (along the zero lot line) above sight lines with direct views into adjacent yards, by using frosted/non-see-through windows, by avoiding placement of windows on the zero lot line, or other designs approved by the approval body through Site Design Review; and

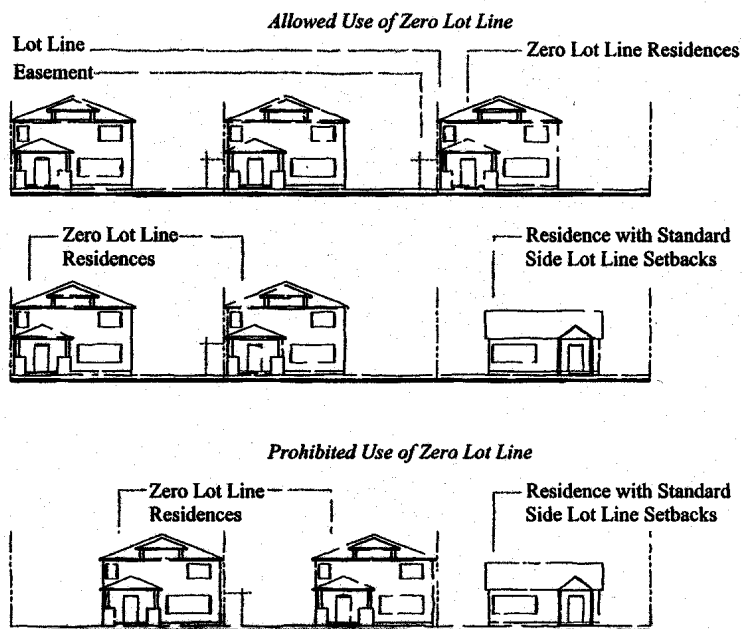
Construction and Maintenance Easement. Prior to building permit approval, the applicant shall submit a copy of a recorded

easement for every zero-lot line house that guarantees access onto adjoining lot for the purpose of construction and maintenance of the zero-lot line house. The easement shall require that no fence or other structure shall be placed in a manner that would prevent maintenance of the zero-lot line house. The easement shall not preclude the adjoining owner from landscaping the easement area.

- J. R-5 Historic District. All new development, including additions and remodels to existing structures, shall conform to the early 1900's style of development. The following design standards are required in the R-5 Historic Residential Zone:

1. Landscape materials should be hardy species that are adaptable to local conditions, easily maintained, and drought tolerant. Use of native plants is strongly encouraged.
2. Individual trees along walkways and along sidewalks in the internal portions of projects shall be planted in tree wells or planter boxes. These types of plantings must first be approved by the Planning Department.
3. Open storm water detention facilities shall be incorporated into project landscaping and open space where geographically feasible. These facilities shall be fenced, landscaped, and screened.

Figure 17.2.200.H-1 – Zero-Lot Line Housing



17.2 – Residential (R) Land Use Districts – Special Use Standards: Zero-Lot Line Housing

4. Natural timber, brick, and/or stone shall be used on a minimum of 25 percent of the building visible from the public right-of-way.
5. New buildings, as well as additions and remodeling to existing buildings, should conform to the existing pattern of design elements within the CPA including:
 - a) Rhythm of solids and voids in front facades, building lines, materials, textures and colors;
 - b) Architectural details;
 - c) Roof shape; and
 - d) Porches
6. On housing, brick and/or stone shall be used from the top of the foundation to the first floor window. In cases where exposed half (½) floors at ground level exist, that area shall be brick but shall count toward the minimum requirement.
7. Natural timbers shall be used in at least one of the following ways:
 - a. As pillars for a porch.
 - b. Timbers wrapping on the corner fascia.
 - c. Cedar siding – unpainted (a protective wood preservative shall be used).As a cap on top of the brick fascia and shall be a minimum of 12 inches tall.
8. All doors and windows shall be trimmed with timber fascia.
9. Sidewalks may be increased beyond the required 8 feet in order to provide outdoor seating.
10. All single-family residences shall start at the 15 foot setback.
11. A brick look shall be incorporated into sidewalks. Stamped concrete shall be allowed.
12. Light posts resembling the early 1900's light posts as approved by the City shall be used within the development.
13. Promote pedestrian interaction.
14. Alleys are intended for pedestrian use. Alleys shall not have sidewalk or pedestrian accessways. Alleys shall be free of obstruction. All garage access shall occur off of alleys on new development or remodels.
15. Where alley's are available all garages shall be built off the alleys.

16. Porches/Covered Entries

- a. All residential development shall have a front porch. In the case of single-family residences the following shall apply:
 - 1) A minimum of 6 feet on each side of the entry door;
 - 2) A minimum of 6 feet deep; and
 - 3) Steps shall not encroach any closer than 3 feet to the sidewalk.

K. Equestrian Residential. All new development within the R-1 district which Master Plans through a Conditional Use Approval for an Equestrian Residential development

L. Golf Courses. All new development within the R-1 district which Master Plans through a Conditional Use Approval for a golf course

M. Community Planning Area. All new development, including additions and remodels to existing structures, should conform to an “early 1900’s” theme. In addition to the site design standards for commercial and residential districts, the following standards shall be applied to site design review in the Community Planning Areas:

1. Ground level outdoor enclosures shall be composed of materials similar to the main structure.
2. Screening material must be similar in material used on the primary structure.
3. Materials used for site features such as fences, screen walls, and signs should be appropriate to the zoning district where the development is located and should complement building design through materials, color, shape, and size. In all residential zones, fences with slats shall not be considered appropriate for screening material.
4. Developments should provide transition with adjacent uses especially regarding building location, size and scale. No single building or development should dominate adjacent uses in terms of size, bulk, view blockage, or shading.
5. Landscape materials should be hardy species that are adaptable to local conditions, easily maintained, and drought tolerant. Use of native plants is strongly encouraged.
6. The design for parking areas shall include deciduous and evergreen trees to provide shade and break up expanses of hard surfaces. One tree, with a minimum of 2½ to 3 inch caliper at the time of planting, shall be required for every two (2) to four (4) parking spaces. There should be no more than 10 spaces between landscaped islands or medians.
7. Landscape islands or medians shall have no dimensions narrower than 3 feet.

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8. Interior landscaping is required for parking lots containing 10 or more spaces at a ratio of 20 square feet per parking spot. Landscaped areas should be protected by wheel stops or curbing, or be of sufficient width to prevent damage to plants by overhanging vehicles.
9. Interior site landscaping is required to define pedestrian ways, enclose outdoor gathering and seating areas, and reduce building mass.
10. Architectural features such as low walls, water features, fountains, and sculptures may be used in places where planting areas are limited or restricted.
11. Individual trees along walkways and along sidewalks in the internal portions of projects shall be planted in tree wells or planter boxes. These types of plantings must first be approved by the Planning Department.
12. Open stormwater water detention facilities shall be incorporated into project landscaping and open space where geographically feasible. These facilities shall be fenced, landscaped, and screened.
13. Each entrance shall have a unique entrance with the name of the business; on the door, in the concrete in front of the door, or above the door.
14. On buildings where there is space on either side of the building, signage must be displayed on the side projecting from the building.
15. Natural timber, brick, and/or stone shall be used on no less than 25 percent where feasible on the outer shell of the building visible from a public right-of-way..
16. Plans, reports and materials submitted by an applicant for any development project in the CPA as a part of design review shall specify whether any streets, open spaces, greenways, parks and other common areas are to be dedicated to the City or retained in private ownership. Where such areas are to remain privately owned, the applicant shall provide direct internal pedestrian connection accessways to the CBD, commercial and residential areas, parks and other public facilities. Easements for public use of all such internal pedestrian connections or perimeter public sidewalks to allow reasonably direct pedestrian access from one side of the development to the other in order to access public areas and the CBD.
17. Nothing throughout this code is intended to prevent the sale or purchase of a phased development project of any type to another party. The parties shall enter into binding legal agreements, to be submitted to Clackamas County for recording that assures that the new owner recognizes the development densities and other material characteristics of any approved project, project phase, or covenants.
18. All developments in the CPA shall be Master Planned.

19. New buildings, as well as additions and remodeling to existing buildings, should conform to the existing pattern of design elements within the CPA including:
 - a) Building height shall flow throughout the zone.
 - b) Proportion of front facades:
 - 1) Proportion of openings within the façade (windows and doors).
 - 2) Rhythm of solids and voids in front facades, building lines, materials, textures and colors.
 - 3) Architectural details.
 - 4) Roof shape.
 - 5) Landscaping.
 - 6) Ground cover and entry design.
20. All spaces in, around and adjacent to buildings, should be well defined as to who is responsible for their maintenance, intended use or function. Territoriality can be defined through the thoughtful use of landscaping details, fences and lighting, or well defined entries and transition spaces.
21. Activities within commercial buildings shall be visible from the street and pedestrian-ways encouraging visual connection between indoor and outdoor areas. Such visual connection creates interest and makes shopping more safe and attractive.
22. An average height throughout the development shall be established through the Master Planning process.
23. Entries should be specially defined with canopies, awnings and other building elements which help to identify them from pedestrian ways. Entries can be defined with building insets which provide a transition between the public walkways and the more private, commercial interiors of buildings. Entries should be conveniently lit at all times to eliminate dark, unsafe pockets.
24. Storefront seating for eating and take-out food services is especially encouraged along pedestrian walkways. The City should encourage and permit outdoor eating, displays, seating and merchandise within the public rights-of-way along sidewalks. Where such provisions are not practical, providing indentations or setbacks in the building façade can compliment seating and display areas.
 - a. In no case shall the width of a sidewalk be blocked to create an unobstructed width of less than 5 feet.

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25. On housing, brick and/or stone shall be used from the top of the foundation to the first floor window. In cases where exposed half (½) floors at ground level exist, that area shall be brick but shall count toward the minimum requirement. Within commercial areas, brick, stone, and/or timber shall be incorporated into the design of the building.
 - a. In all cases stone and brick shall be inter-mixed within the design of the building.
26. Natural timbers shall be used in at least one of the following ways:
 - a. As pillars for a porch.
 - b. Timbers wrapping on the corner fascia.
 - c. Cedar siding – unpainted (a protective wood preservative shall be used).As a cap on top of the brick fascia and shall be a minimum of 12 inches tall.
27. All doors and windows shall be trimmed with timber fascia.
 - a. All doors shall have the look of timber.
28. All commercial development must be built to the property line facing a public street and separated only by a 12 foot wide sidewalk.
29. All parking shall be located at the rear of buildings and screened from public streets by a site obscuring fence.
30. Two to 3 stories may occur, however, once a height has been established in the area, that height shall be maintained throughout the CPA.
31. Residential occupancy may exist on the second, third, and ½ floors. No building in the commercial section of the CPA shall display characteristics of a residential use.
32. Sidewalks may be increased beyond the required 8 feet in order to provide outdoor seating.
33. All single-family residences shall start at the 15 foot setback.
34. Turnout areas along streets shall be designated for temporary parking only.
35. Yard maintenance shall be commercially done through a home owners association.
36. Site characteristics:
 - a. A brick look shall be incorporated into sidewalks. Stamped concrete shall be allowed.

17.2 – Residential (R) Land Use Districts – Special Use Standards: Zero-Lot Line Housing

- b. Light posts as allowed in the light posts selection list shall be used within the development.
- c. Promote pedestrian interaction.
 - 1) Spaces for street level uses shall be designed to engage pedestrians with activities occurring within them. Sidewalk related spaces should appear safe, welcoming and open to the general public.
 - 2) The rears of property which face an alley must maintain an area in the same manner as required by the City for front yards. This means no storage or retention of vehicles which are visible to passersby.
 - 3) Alleys are not intended for pedestrian use. Alleys shall not have sidewalk or pedestrian accessways. Alleys shall be free of obstruction. All garage access shall occur off of alleys on new development or remodels.
- d. All garages shall be built off of alleys, when alleys are available.

37. Porches/Covered Entries

- a. All residential development shall have a front porch. In the case of single-family residences the following shall apply.
- b. A minimum of 6 feet on each side of the entry door.
- c. A minimum of 6 feet deep.
- d. Steps shall not encroach any closer than 3 feet to the sidewalk.

CHAPTER 17.3 — COMMERCIAL DISTRICTS

SECTIONS:

- 17.3.100 PURPOSE
- 17.3.112 CBD, CENTRAL BUSINESS DISTRICT
- 17.3.114 C-2, GENERAL COMMERCIAL
- 17.3.130 ZERO SETBACKS AND BUILD TO LINE
- 17.3.140 LOT COVERAGE
- 17.3.150 BUILDING ORIENTATION & COMMERCIAL BLOCK LAYOUT
- 17.3.160 BUILDING & STRUCTURE HEIGHT
- 17.3.170 ARCHITECTURAL DESIGN STANDARDS
- 17.3.180 PEDESTRIAN AMENITIES
- 17.3.190 SPECIAL USE STANDARDS

TABLES:

- 17.3.1 ALLOWED LAND USES
- 17.3.2 DEVELOPMENT STANDARDS

17.3.100 COMMERCIAL DISTRICTS PURPOSE

These districts are intended to:

- Promote efficient use of land and urban services;
- Create a mixture of land uses that encourages employment and housing options in close proximity to one another;
- Provide formal and informal community gathering places and opportunities for socialization (*i.e.*, along an active street front);
- Encourage pedestrian-oriented development in all commercial areas;
- Create a distinct storefront character in the Central Business District;
- Provide connections to and appropriate transitions between residential areas and commercial areas;
- Provide for visitor accommodations and tourist amenities;
- Encourage transit-supportive development to reduce reliance on the automobile and to minimize the need for off-street parking.
- Implement design standards / guidelines that maintain and enhance the City’s historic architecture.
- Capitalize on the vision of Molalla as a recreation-oriented community.

Commercial districts are centers of business and civic life. This Chapter provides two commercial districts and one overlay districts to accommodate the range of commercial land uses in the community. The districts purposes are as follows:

C-1, Central Business District. To provide the principle shopping, business, and transportation to the community and its trading area. This district allows for a broad range of uses in keeping with Molalla’s historic commercial area. Development is intended to be characterized by high building coverage and close placement of buildings to streets. Development is also to be pedestrian oriented with an emphasis on a visually appealing streetscape while addressing the needs for residential living within the downtown area.

C-2, General Commercial District. To provide the principle shopping, business and transportation development to serve the community and its trading area. This district is intended to provide those types of retail, wholesale, transportation, and service uses which, because of traffic, size and other requirements, depend upon particular locations to serve the needs of the community and its trading area. This zone allows for a full range of retail and service businesses with a local or regional market and is to be characterized by attractive development, an open and pleasant street appearance, and compatibility with adjacent residential areas. Development provides for site access by automobile, as well as pedestrian, bicycle and transit.

HC, Highway Commercial Overlay District. To provide for auto-oriented access and parking along major highways outside the core area of the City.

17.3.112 CBD, CENTRAL BUSINESS DISTRICT

Development Standards

- A. None - Minimum Lot Area (sq ft) *Development must conform to lot width, depth, yard setback and coverage standards
- B. 50 ft - Minimum Lot Width
- C. 100 ft - Minimum Lot Depth
- D. 45 ft - Maximum Building Height
- E. Yes - Building Height Transition
- F. 100% - Maximum Lot Coverage
- G. 5% - Minimum Landscape Area (% of site)
- H. Minimum Setback (ft)⁵⁴

Front	Side	Street Side	Rear	Along Arterials
0	0	0	0	See TSP

- I. Fences & Gardening/Retaining Walls⁵⁵

Max Height - Front	Max Height - Side	Max Height - Street Side	Max Height - Rear
42"	6'	6'	6'

- J. Permitted Uses

1. Basic Utilities
2. Brewery
3. Commercial Indoor Recreation (under 25,000 sq ft)
4. Community Service
5. Daycare (adult or child)
6. Educational Services, not a school (e.g., tutoring or similar services)
7. Governmental Buildings
8. Hotel or Motel
9. Indoor Recreation Facilities (under 25,000 sq ft)
10. Laundromat Not Including Dry Cleaning on Site
11. Medical Centers
12. Mortuary (Not Crematory)

⁵⁴ No balconies may extend into the public right-of-way.

⁵⁵ See also sections 18.1.2 Vision Clearance and 18.2.500 Fences and Walls.

13. Offices
 - a) Cafeterias
 - b) Health Facilities
 - c) Other facilities primarily for the use of employees of the firm or business
14. Parks & Open Space
15. Private Club, lodge, convent, social or recreational building or community assembly hall
16. Public park, playground, or recreational area, and buildings used in connection therewith
17. Quick Vehicle Servicing or Vehicle Repair (See also Drive-Up/Drive-In/Drive Through Uses, per section 17.3.190) - Fully Enclosed
18. Religious Institutions & Houses of Worship
19. Restaurants (not including drive through)
20. Retail sales and service (see also drive-up uses)
21. Small Animal Veterinary Office or Hospital
22. Studios including music, dancing, art, photography, or health
23. Television and Radio Studios
24. Temporary Uses (limited to "P" and "CU" uses)
25. Theater, except drive in
26. Transportation Facilities (operation, maintenance, preservation, and construction)
27. Use customarily incidental & subordinate to a PRINCIPLE use permitted outright

K. Accessory Uses

1. Accessory Structures (with a permitted use)
2. Accessory Uses for Retail Sales
 - a) Manufacturing or repackaging of goods for on-site sales
 - b) Parking
 - c) Storage of Goods
3. Signs (subject to requirements of Chapter 18.8)

L. Conditional Uses

1. Bars & Taverns⁵⁶
2. Bed & Breakfast Inn
3. Buildings & Structures Exceeding the Height Limits in Table 17.2.130
4. Bus Depot but not a bus garage or storage yard
5. Colleges & Schools
6. Commercial Indoor Recreation (25,000 sq ft or greater)
7. Commercial Outdoor Recreation
8. Commercial Parking
9. Condominium Developments (Commercial)
10. Drive-up/Drive-in/Drive-through (drive-up windows, kiosks, ATM's, similar uses/facilities per Section 17.3.190)

⁵⁶ Bars & Taverns established after the effective date of this code shall not be located within 500 feet of another use classified as a bar or tavern.

11. Entertainment, Major Event
12. Motion Picture production studios and allied services
13. Multi-Family (4 or more) Residential
14. Private nursery school, kindergarten, or daycare center⁵⁷
15. Quick Vehicle Servicing or Vehicle Repair (See also Drive-Up/Drive-In/Drive Through Uses, per section 17.3.190) - Not Enclosed
16. Public utility and communication facilities, such as; a branch telephone exchange, static transformer, booster station, or pumping station.
17. Radio Frequency Transmission Facilities
18. Rail Lines & Corridors
19. Residential uses above and behind storefronts
20. Senior Housing
21. Swimming Pools
22. Telecommunication Facilities
23. Uses operating between 10pm and 6am

17.3.114 C-2, GENERAL COMMERCIAL DISTRICT

Development Standards

- A. 10,000 sq ft - Minimum Lot Area (sq ft) *Development must conform to lot width, depth, yard setback and coverage standards
- B. 60 ft - Minimum Lot Width
- C. 120 ft - Minimum Lot Depth
- D. 45 ft - Maximum Building Height
- E. Yes - Building Height Transition
- F. 80% - Maximum Lot Coverage
- G. 15% - Minimum Landscape Area (% of site)
- H. Minimum Setback (ft)⁵⁸

Front	Side	Street Side	Rear	Along Arterials
10	10	20	10	See TSP

⁵⁷ On lots having a minimum of 10,000 sq ft, provided there is established in connection therewith a play lot having a minimum area of 400 sq ft plus an additional 40 sq ft for each child in excess of 10, which play lot is separated from adjoining properties a sight-obscuring security fence.

⁵⁸ No balconies may extend into the public right-of-way.

I. Fences & Gardening/Retaining Walls⁵⁹

Max Height - Front	Max Height - Side	Max Height - Street Side	Max Height - Rear
42"	6'	6'	6'

J. Permitted Uses

1. Basic Utilities
2. Brewery
3. Commercial Indoor Recreation (under 25,000 sq ft)
4. Community Service
5. Daycare (adult or child)
6. Drive through restaurant
7. Drive-up/Drive-in/Drive-through (drive-up windows, kiosks, ATM's, similar uses/facilities per Section 17.3.190)
8. Educational Services, not a school (e.g., tutoring or similar services)
9. Hotel or Motel
10. Indoor Recreation Facilities (under 25,000 sq ft)
11. Laundromat Not Including Dry Cleaning on Site
12. Medical Centers
13. Mortuary (Not Crematory)
14. Motion Picture production studios and allied services
15. Offices
 - a) Cafeterias
 - b) Health Facilities
 - c) Other facilities primarily for the use of employees of the firm or business
16. Parks & Open Space
17. Public park, playground, or recreational area, and buildings used in connection therewith
18. Quick Vehicle Servicing or Vehicle Repair (See also Drive-Up/Drive-In/Drive Through Uses, per section 17.3.190) - Fully Enclosed
19. Recreational Vehicle Camping Parks
20. Religious Institutions & Houses of Worship
21. Restaurants (not including drive through)
22. Retail sales and service (see also drive-up uses)
23. Self Service Storage
24. Small Animal Veterinary Office or Hospital
25. Studios including music, dancing, art, photography, or health
26. Temporary Uses (limited to "P" and "CU" uses)
27. Theater, except drive in
28. Transportation Facilities (operation, maintenance, preservation, and construction)
29. Vehicle Repair⁶⁰

⁵⁹ See also sections 18.1.2 Vision Clearance and 18.2.500 Fences and Walls.

30. Vehicle Sales⁶¹

31. Use customarily incidental & subordinate to a PRINCIPLE use permitted outright

K. Accessory Uses

1. Accessory Structures (with a permitted use)
2. Accessory Uses for Retail Sales
 - a) Gasoline, parts, tire sales and vehicle washing when accessory to vehicle sales or repair
 - b) Manufacturing or repackaging of goods for on-site sales
 - c) Parking
 - d) Storage of Goods
3. Signs (subject to requirements of Chapter 18.8)

L. Conditional Uses

1. Bars & Taverns⁶²
2. Buildings & Structures Exceeding the Height Limits in Table 17.2.130
3. Bus Depot but not a bus garage or storage yard, except as provided in L.21.
4. Cemetery
5. Colleges & Schools
6. Commercial Indoor Recreation (25,000 sq ft or greater)
7. Commercial Outdoor Recreation
8. Commercial Parking
9. Condominium Developments (Commercial)
10. Drive In Movie Theatre
11. Entertainment, Major Event
12. Governmental Buildings
13. Indoor Recreation Facilities greater than 25,000 sq ft
14. Laundromat, including dry cleaning on-site
15. Private club, lodge, convent, social or recreational building or community assembly hall
16. Public utility and communication facilities, such as; a branch telephone exchange, static transformer, booster station, or pumping station.
17. Quick Vehicle Servicing or Vehicle Repair (See also Drive-Up/Drive-In/Drive Through Uses, per section 17.3.190) - No Enclosed
18. Radio Frequency Transmission Facilities
19. Rail Lines & Corridors
20. Telecommunication Facilities
21. Television and Radio Stations
22. Uses operating between 10pm and 6am

⁶⁰ Includes passenger vehicle, light & medium truck, motorcycle, boat and recreational vehicle sales and repair in an enclosed building, quick lubrication services, transmission or muffler services, auto body services, detailing and upholstery shops. Does not include junking, wrecking, storage, towing, or salvaging operations.

⁶¹ Does not include junking, wrecking, storage, towing, or salvaging operations

⁶² Bars & Taverns established after the effective date of this code shall not be located within 500 feet of another use classified as a bar or tavern.

17.3.1 ALLOWED LAND USES TABLE

Table 17.3.110 identifies the land uses that are allowed in the Commercial Districts. The specific land use categories are described and uses are defined in Chapter 16.

Table 17.3.110 - Land Uses Allowed in Commercial Districts		
Uses	Status of Use in District	
Use Categories	C-1	C-2
Accessory Structures (with a permitted use)	AU	AU
Bars & Taverns ⁶³	CU	CU
Basic Utilities	P	P
Bed & Breakfast Inn	CU	N
Brewery	P	P
Buildings & Structures Exceeding the Height Limits in Table 17.2.130	CU	CU
Bus Depot but not a bus garage or storage yard	CU	CU
Colleges & Schools	CU	CU
Commercial Indoor Recreation (under 25,000 sq ft)	P	P
Commercial Indoor Recreation (25,000 sq ft and over)	CU	CU
Commercial Outdoor Recreation	CU	CU
Commercial Parking	CU	CU
Community Service	P	P
Condominium Developments (Commercial)	CU	CU
Daycare (adult or child)	P	P
Drive in Movie Theatre	N	CU
Drive-up/Drive-in/Drive-through (drive-up windows, kiosks, ATM's, similar uses/facilities per Section 17.3.190	CU	P
Educational Services, not a school (e.g., tutoring or similar services)	P	P
Entertainment, Major Event	CU	CU
Governmental Buildings	P	CU
Hotel or Motel	P	P
Indoor Recreation Facilities	P	P
Laundromat, including dry cleaning on-site	N	CU
Laundromat, not including dry cleaning on-site	P	P
Medical Centers	P	P
Mortuary (Not Crematory)	P	P
Motion Picture production studios and allied services	CU	P
Multi-Family (4 or more units)	P	N
Offices	P	P
	Cafeterias	AU
	Health Facilities	AU
Other facilities primarily for the use of the employees of the firm or business	AU	AU
Parks & Open Space	P	P
Private club, lodge, convent, social or recreational building or community assembly hall	P	CU
Private nursery school, kindergarten, or daycare center ⁶⁴	CU	N
Public park, playground, or recreational area, and buildings used in connection therewith	P	P
Table 17.3.110 - Land Uses Allowed in Commercial Districts		
Uses	Status of Use in District	

⁶³ Bars and taverns established after the effective date of this code shall not be located within 500 feet of another use classified as a bar or tavern

⁶⁴ On lots having a minimum of 10,000 sq ft, provided there is established in connection therewith a play lot having a minimum area of 400 sq ft plus an additional 40 sq ft for each child in excess of 10, which play lot is separated from adjoining properties by a sight-obscuring security fence.

17.3 – Commercial Land Use Districts – Development Standards

Use Categories	C-1	C-2
Public utility and communication facilities, such as; a branch telephone exchange, static transformer, booster station, or pumping station	CU	CU
Quick Vehicle Servicing or Vehicle Repair (See also Drive-Up/Drive-In/Drive-Through Uses, per section 17.3.190)		
Fully Enclosed	P	P
Not Enclosed	CU	CU
Radio Frequency Transmission Facilities	CU	CU
Rail Lines & Corridors	CU	CU
Recreational Vehicle Camping Parks	N	P
Religious Institutions & Houses of Worship	P	P
Residential uses above and behind storefronts	CU	N
Restaurants (not including drive through)	P	P
Retail Sales and Service (see also Drive-Up Uses)	P	P
Accessory Uses for Retail Sales		
Gasoline, parts, tire sales and vehicle washing when accessory to vehicle sales or repair	N	AU
Manufacturing or repackaging of goods for on-site sales	AU	AU
Parking	AU	AU
Storage of Goods	AU	AU
Self Service Storage	N	P
Senior Housing	CU	N
Signs (subject to requirements of Chapter 18.8	AU	AU
Small Animal Veterinary Office or Hospital	P	P
Studios including music, dancing, art, photography, or health	P	P
Swimming Pools	CU	N
Telecommunication facilities	CU	CU
Television and Radio Studios	P	CU
Temporary Uses (limited to “P” and “CU” uses)	P	P
Theater, except drive in	P	P
Transportation Facilities (operation, maintenance, preservation, and construction	P	P
Vehicle Repair ⁶⁵	N	P
Vehicle Sales ⁶⁶	N	P
Use customarily incidental & subordinate to a PRINCIPLE use permitted outright	P	P
Uses operating between 10pm and 6am	CU	CU

Key:

P = Permitted, subject to site/development review
 N = Not permitted

CU = Conditional Use Permit required
 AU = Accessory Uses

⁶⁵ Includes passenger vehicle, light & medium truck, motorcycle, boat and recreational vehicle sales and repair in an enclosed building, quick lubrication services, transmission or muffler services, auto body services, detailing and upholstery shops. Does not include junking, wrecking, storage, towing, or salvaging operations.

⁶⁶ Does not include junking, wrecking, storage, towing, or salvaging operations.

17.3.2 DEVELOPMENT STANDARDS

The development standards in Table 17.3.120 apply to all new structures, buildings, and development, and major remodels, in the Commercial Districts.

Table 17.3.2 - Development Standards for Commercial Districts (except as modified by 17.2.120 - Commercial Standards)		
Standard	C-1	C-2
Minimum Lot Area (sq ft) *Development must conform to lot width, depth, yard setback and coverage standards	None	10,000
Minimum Lot Width (ft)	50	60
Minimum Lot Depth (ft)	100	120
Maximum Building Height (ft)	45	45
Building Height Transition	Yes	Yes
Maximum Lot Coverage (%)	100	80
Minimum Landscape Area (% of site)	5	15
Minimum Setback (ft)⁶⁷		
Front	0	10
Side	0	10
Street Side	0	20
Rear	0	10
Setbacks along Arterials	See TSP	See TSP
Fences & Gardening/Retaining Walls⁶⁸		
Max Height - Front	42"	42"
Max Height - Side	6'	6'
Max Height - Street Side	6'	6'
Max Height - Rear	6'	6'

- A. All new developments shall:
1. Always avoid utility easements when building near property lines;
 2. Porches, balconies, and patios must be less than 50 percent enclosed on side elevations;
 3. On street side fences, retaining/garden walls the 6 foot height may be expanded to 8' with approval through a building permit.

⁶⁷ No balconies may extend into the public right-of-way

⁶⁸ See also sections 18.1.2 Vision Clearance and 18.2.500 Fences and Walls

17.3.130 COMMERCIAL DISTRICTS - ZERO SETBACKS, BUILD-TO-LINE, FIRE CODE, CLEAR VISION, AND FLAG LOTS

A. Zero Setbacks and Build-To Line – Purpose; Fire Code; and Clear Vision.

Zero setbacks, as provided in Table 17.3.120, are intended to encourage pedestrian-oriented development, while providing more flexibility in site design than what is possible with large setbacks. With buildings placed close to the street, a development can afford good access for emergency service providers in the case of a fire or other emergency. Where no minimum setback is required, all structures and buildings shall conform to the vision clearance standards in Section 18.1.200(N) and the applicable fire and building codes (e.g., for attached structures, fire walls, and related requirements).

B. Setback Yards – Flag Lots

The front yard of a flag lot shall conform to one of the following two options:

1. parallel to the street from which access is taken, or
2. parallel to the flag pole from which access is taken.

The applicant for a building permit may choose either Option 1 or Option 2, except as otherwise prescribed by conditions of a partition or subdivision approval.

17.3.140 COMMERCIAL DISTRICTS - LOT COVERAGE

Lot coverage is calculated as provided under Section 17.2.160.

17.3.150 COMMERCIAL DISTRICTS - BUILDING ORIENTATION & COMMERCIAL BLOCK LAYOUT

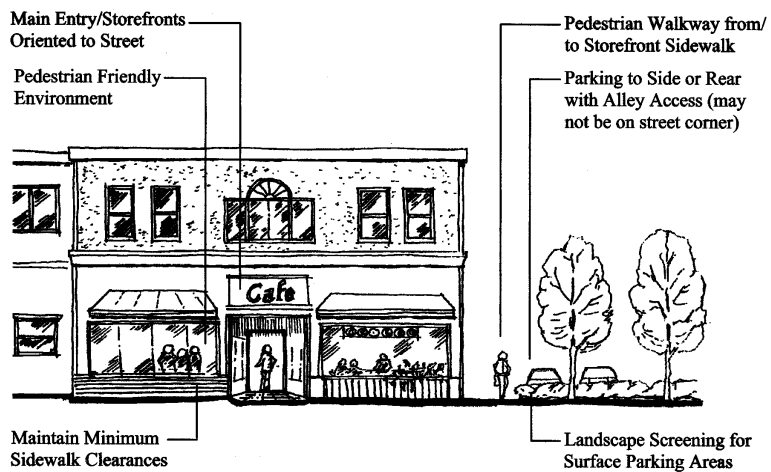
A. Purpose. This section orients buildings close to streets to promote pedestrian-oriented development where walking is encouraged. Placing residences and other buildings close to the street also encourages crime prevention, natural surveillance or security, and safety by having more “eyes-on-the-street.”

B. Applicability. This section applies to that are subject to Site Design Review or Land Division Review, including those reviewed as part of a Master Planned Development.

C. Building Orientation Standards. Developments subject to this Section shall have their buildings oriented to a street, as generally shown in Figure 17.3.150(C.1). This standard is met when all of the following criteria are met:

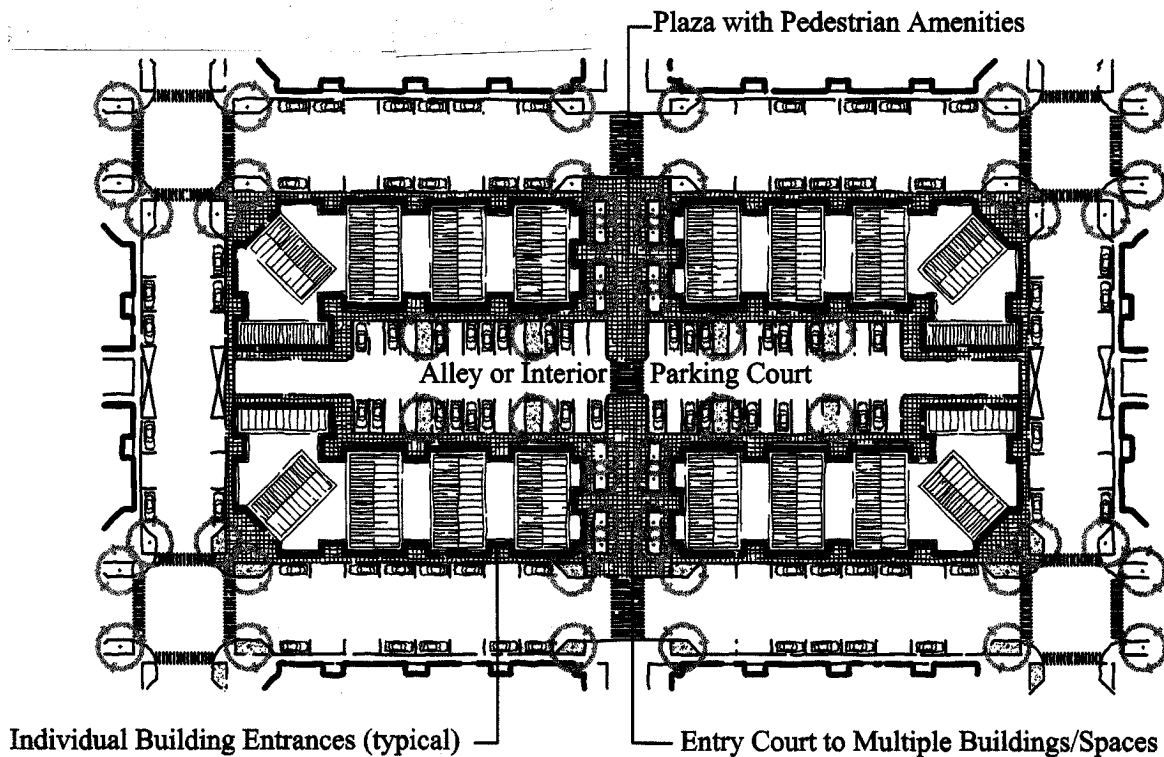
1. Compliance with the setback in Table 17.3.120, where applicable. The build-to line may be setback to provide pedestrian amenities between a building and its adjoining street;
2. Except as provided in subsections 4 and 5 below, all buildings shall have at least one primary building entrance (i.e., dwelling entrance, a tenant entrance, lobby entrance, or breezeway/courtyard entrance) facing an adjoining street (i.e., within 45 degrees of the street property line), or if the building entrance is turned more than 45 degrees from the street (i.e., front door is on a side elevation), the primary entrance shall not be more than 40 feet from a street sidewalk, except to provide pedestrian amenities; a walkway shall connect the primary entrance to the sidewalk in this case.

Figure 17.150(C.1) – Building Orientation



3. In the C-1 District, off-street parking, driveways, and other vehicle areas shall not be placed between buildings and the street(s) to which they are oriented; except as provided under subsection 4 below. Off-street parking in the C-2 and C-3 District shall be oriented internally to the site and divided by landscape areas into bays of not more than 24 parking spaces per bay, as generally shown in Figures 17.3.150(C.2).
4. In the C-1 District, drive-up and/or drive through uses shall be screened from view from the public right-of-way. The use shall be accessed off of side streets and shall not be visible from arterial streets and collector streets.

Figure 17.3.150.C(2) – Building Orientation With Internal Parking



5. In the C-2 and HC District, the building orientation standard may be met with vehicle areas allowed between the street right-of-way and a building’s primary entrance when the approval body finds that the following criteria are met:
 - a. Placing vehicle areas between the street right-of-way and building’s primary entrance will not adversely affect pedestrian safety and convenience, based on the distance from the street sidewalk to the building entrance, projected vehicle traffic volumes, and available pedestrian walkways;
 - b. The proposed vehicle areas are limited to one driveway of not more than 20 feet in width with adjoining bays of not more than eight (8) consecutive parking spaces per bay (including ADA accessible spaces) on the side(s) of the drive aisle. (The intent is to create a drive aisle that is street-like, and break up parking into small bays with landscaping; and
 - c. The building’s primary entrance is connected to an adjoining street by a pedestrian walkway that meets the standards for pedestrian walkways under Section 18.1.300.

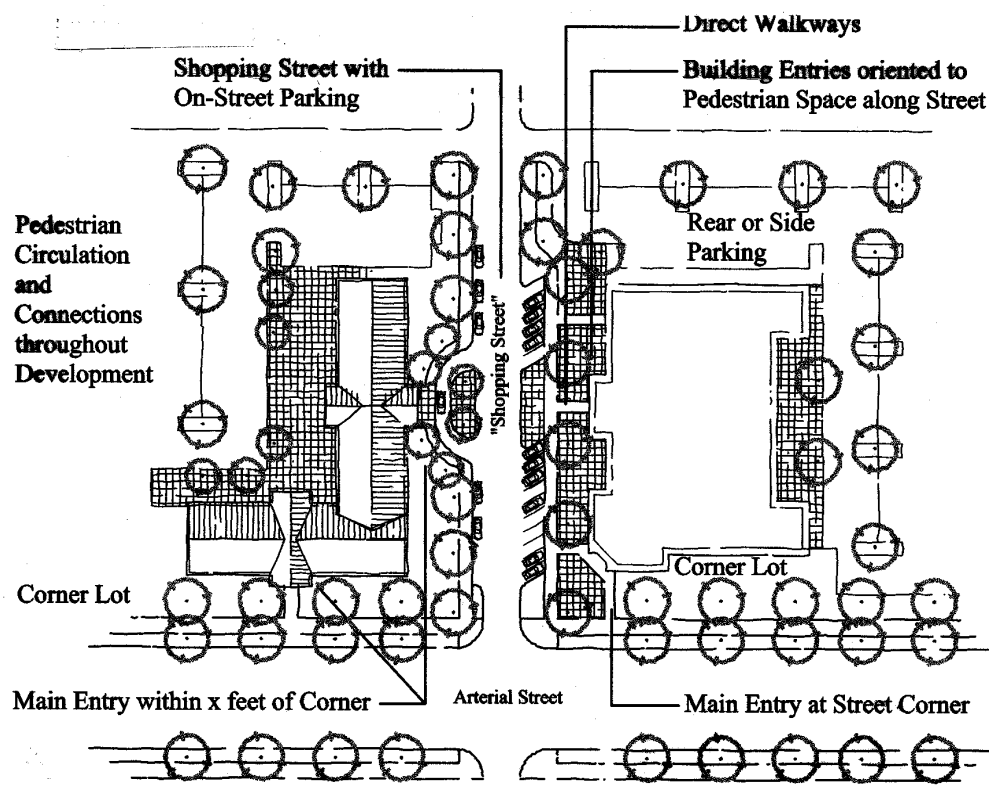
6. Where a development contains multiple buildings and there is insufficient street frontage to which buildings can be oriented, a primary entrance may be oriented to common green, plaza, or courtyard. When oriented in this way, the primary entrance(s) and green, plaza, or courtyard shall be connected to the street by a pedestrian walkway meeting the

standards in Section 18.1.300.

D. Block Layout Standard. Developments containing 60,000 square feet or more building floor area shall meet all of the following standards:

1. The site shall be configured into blocks that have frontage onto streets, interior parking courts (as generally shown in Figure 17.3.150.C(2), above), or shopping streets (as generally shown in Figure 17.3.150.C(3), below). All parking courts and shopping streets shall contain on-street parking (parallel or angled parking), street- or court-facing building entrances and entrances at or near (*i.e.*, within 40 feet of) block corners, sidewalks, street trees, and pedestrian lighting;
2. Blocks shall not exceed 400 feet in length;
3. Pedestrian pathways shall connect the street right-of-way to building entrances and the interior parking courts between buildings, as necessary to ensure reasonably safe, direct, and convenient access to building entrances and off-street parking;

Figure 17.3.150.C(3) – Shopping Street Example



17.3.160 COMMERCIAL DISTRICTS - BUILDING AND STRUCTURE HEIGHT

A. Method of Measurement. Building and structure heights shall conform to the standards in Table 17.3.120; height is measured in conformance with Section 17.2.170. Height step-down requirements shall conform to the standards in Section 17.2.170.C.

17.3.170 COMMERCIAL DISTRICTS - ARCHITECTURAL DESIGN STANDARDS

A. Purpose and Applicability. This section is intended to provide detailed, human-scale design that is characteristic of the City of Molalla, while affording flexibility to use a variety of architectural building styles. All new buildings and major remodels shall meet the standards of subsections B-D below, which are applied through Site Design Review. The applicant demonstrates that the standards are met by complying with the criteria under each standard.

1. The street level should be sensitive to pedestrians. Greater attention to detail and a more pedestrian oriented scale of development shall be utilized. Design criteria shall be for the enjoyment of the shopper on foot as opposed to being in their automobile.

B. Pedestrian-Orientation. The design of all buildings on a site shall support a safe and attractive pedestrian environment. This standard is met when the approval body finds that all of the criteria in 1-7, below, are met. Alternatively, the approval body may approve a different design upon finding that the design contains an equally good or superior way of achieving the above standard.

1. The building orientation standards under Section 17.3.150 are met; and
2. Primary building entrances shall open directly to the outside and, if not abutting a street, shall have walkways connecting them to the street sidewalk; every building shall have at least one primary entrance that does not require passage through a parking lot or garage to gain access; and
3. Windows may not be tinted or mirrored; and
4. Corner buildings (*i.e.*, buildings within 20 feet of a corner as defined by the intersecting curbs) shall have corner entrances, or shall provide at least one entrance within 20 feet of the street corner or corner plaza; and
5. At least 50 percent of the building's front façade (measured horizontally in linear feet) shall be located at the build-to line or closer to the street; build-to lines are prescribed by Table 17.3.120; and
6. Ground floor windows or window displays shall be provided along at least 40 percent of the building's (ground floor) street-facing elevation(s); windows and display boxes shall be integral to the building design and not mounted to an exterior wall; and
7. Primary building entrance(s) are designed with weather protection, such as awnings, canopies, overhangs, or similar features; and
8. Drive-up and drive-through facilities, when allowed, shall conform to Section 17.3.190; the provisions of which shall not be modified without a variance (Chapter 20.1).

9. Commercial activities within commercial buildings shall be visible from the street and pedestrian ways to:

- a. Establish and maintain visual continuity between indoor and outdoor areas; and
- b. Enhance safety by adding “eyes on the street”

C. Compatibility. All new buildings and major remodels shall be designed consistent with the architectural context in which they are located. This standard is met when the approval body finds that all of the criteria in 1-7, below, are met.

D. Color Palette. Development in the commercial zones shall conform with the color palettes for building facades, building trim and signage.

1. Colors consistent with the color palettes shall be used. When questions arise regarding color consistency the Planning Director shall determine its compatibility with the color palette charts;
2. Base, trim and sign colors shall complement one another;
 - a. Base. Acceptable colors shall complement one another.
 - b. Trim.
 - 1) Only those colors listed in the Trim Palette are acceptable for use on a building trim. Trim colors shall not be used on more than 15 percent of each faced of a building’s exterior.
 - 2) Where brick, natural timber and/or stone is used on 15 percent or more of a street-facing façade, that building is entitled to display up to 20 percent of the street-facing façade with the colors listed on the trim palette.
 - c. Signs. Signs may display up to 50 percent of each face with colors listed in the City’s Sign Palette. The remaining portion of the sign shall be listed on the base color palette.
3. Neon colors are prohibited;
4. Interpretation. An individual may request approval of a color not shown on the color palette by following a Type I Land Use Procedure. The applicant will be required to submit the following materials for the Planning Director for review:
 - a. A color rendering of the building illustrating the proposed color to be used;
 - b. A color scheme of the surrounding structures;

- c. A narrative description explaining why the proposed color meets or can meet the intent of the color palette in question;
- d. Only those colors listed in each of the respective color palettes will be allowed, however, the acceptability of “similar” or “like” colors will be left to the interpretation of the hearing body. Color palette interpretation will be process in the same manner as code language interpretation outlined in Chapter 19.8.

E. Human Scale. The design of all buildings shall be to a human-scale. This standard is met when the approval body finds that all of the criteria in 1-6, below, are met. Alternatively, the approval body may approve a different design upon finding that the design contains an equally good or superior way of achieving the above standard. Figure 17.3.170(D) contrasts examples of building elevations that are consistent/inconsistent with human scale criteria.

1. Regularly spaced and similarly-shaped windows are provided on all building stories;
2. Ground floor retail spaces shall maintain a visual appearance of having a tall (i.e., 12-16 feet) public entrance;
3. All ground floor entries shall be sheltered with a minimum 4 foot overhang projection that shall not project more than 4 feet into a front yard setback;
4. Display windows are trimmed, recessed, or otherwise defined by wainscoting, sills, water tables, or similar architectural features;
5. On multi-story buildings, ground floors are defined and separated from upper stories by appropriate architectural features (*e.g.*, cornices, trim, awnings, canopies, arbors, trellises, overhangs, or other features) that visually identifies the transition from ground floor to upper story; such features should be compatible with the surrounding architecture;
6. The tops of flat roofs are treated with appropriate detailing (*i.e.*, cornice, pediment, flashing, trim, or other detailing) that is compatible with the surrounding architecture;
 - a. When flat roofs are proposed, a cornice that is a minimum 12 inches high projecting a minimum 6 inches from the wall at the top of the wall or parapet shall be provided;
 - b. Roof-line offsets, with a minimum of 8 feet variation measured either vertically from the gutter line or horizontally, shall be provided at intervals of 100 feet or less to relieve the effect of a single, long roof.
7. Pitched roofs have eaves, brackets, gables with decorative vents, or other detailing that is consistent with the surrounding architecture;
8. Historic design and compatibility requirements, where applicable, are met; and

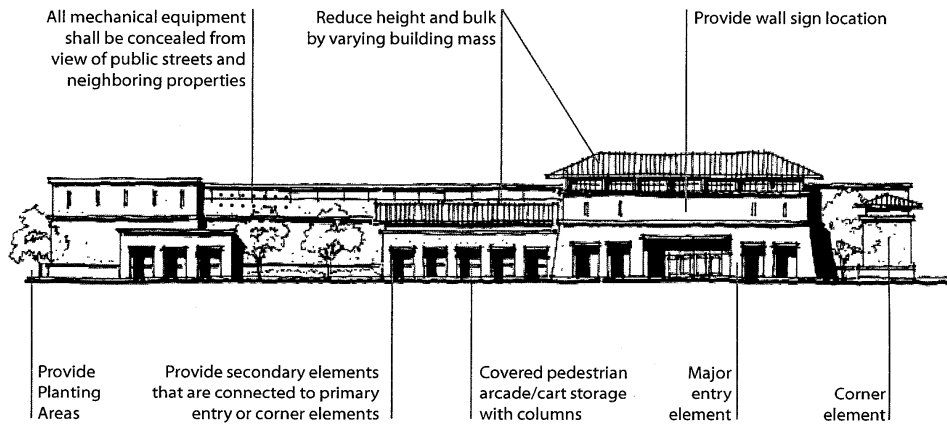
17.3 – Commercial Land Use Districts – Architectural Design Standards

9. Building design in the C-1, C-2, C-3, CPA, and EZ zones shall incorporate traditional building materials such as natural timbers, stone, and brick where practicable.
10. Commercial buildings located in predominantly residential areas should imitate building setbacks and front yard landscaping patterns established by the residential uses.
11. The entrance to automotive service bays shall not be open to the street and shall be designed to face the rear or interior side property lines.
12. All newly created or remodeled outdoor storage areas, garbage collection, exterior vents and mechanical devices and noise-generating equipment shall be screened by sight obscuring fencing to complement the existing structure or by vegetation located away from abutting residential development.
13. Ground level outdoor enclosures shall be composed of materials similar to the primary structure.
14. Roof mounted equipment, including satellite dishes and other communications equipment, must be screened from view from adjacent public streets.
15. Solar panels shall blend in with the primary structure upon which they are located.
16. Structures that have more than a seventy-five (75) foot front setback shall have a pedestrian walkway that connects to existing pedestrian walkways on adjacent development and that is stubbed to the adjacent property line where adjacent land is undeveloped or absent pedestrian walkways. The configuration of pedestrian walkways shall be considerate of site topography and future development of adjacent property.
17. Buildings shall be designed and maintained to enhance the real and perceived safety of the immediate area. Permit applications shall include a statement from Molalla's Chief of Police or designee stating whether or not safety concerns are associated with the application.
18. Building Entries:
 - a. Entries should be clearly identifiable and visible from the street and easily accessible and inviting to pedestrians. In order to increase personal safety, entries and associated open spaces should be designed to avoid the creation of isolated areas and maintain lines of sight into and out of the space. Building entries shall have one (1) or more of the following architectural treatments:
 - 1) Awnings.
 - 2) Decorative entrances to business.
 - 3) Painted exterior.
 - 4) Provide adequate windows to allow pedestrians to see what they offer.
 - 5) Repairing/replacing sidewalks.

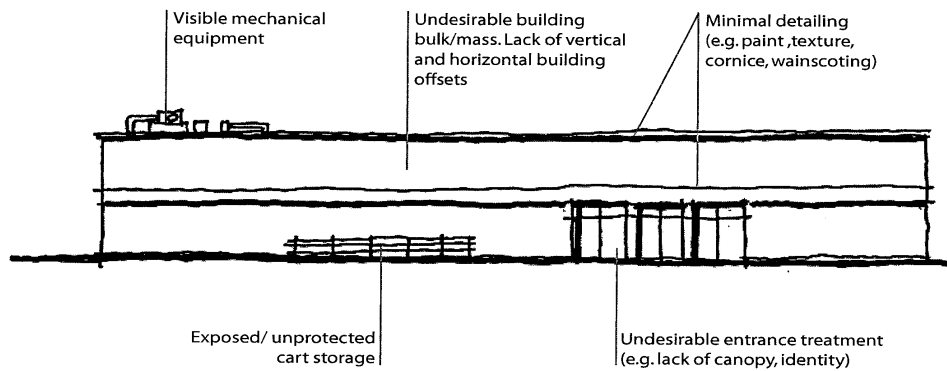
- 6) Distinctive doorways.
 - 7) Decorative/distinctive entry canopy.
 - 8) Projected or recessed entry bay.
 - 9) Building name and address integrated into the façade or sidewalk.
 - 10) A change in paving material, texture or color.
 - 11) Distinctive landscaping, including plants, water features, and seating.
19. Entries should be specially defined with canopies, awnings and other building elements that help to identify them from pedestrian ways. Entries can be defined with building insets that provide a transition between the public walkways and the more private, commercial interiors of buildings. Entries should be conveniently lit at all times to eliminate dark, unsafe pockets.
 20. Parking that is visible from an existing or proposed street shall be screened from view from public rights of way.
 21. Where it is unreasonable to plant trees, planters shall be used.
 22. Storefront seating for eating and take-out food services is especially encouraged along pedestrian walkways. The City should encourage outdoor eating, displays, seating and merchandise within the public rights-of-way along sidewalks. Where such provisions are not practical, providing indentation or setbacks in the building façade can contribute to seating and display areas. These eating areas shall not impede pedestrian travel.
 23. Historic and architecturally significant buildings, and other landmarks that give residents a tie with the past, should be preserved. Private preservation efforts shall be encouraged.
 24. The City shall encourage restorative maintenance for deteriorating buildings in the Central Business District and restrict the demolition of historically and/or architecturally significant buildings to accommodate new development.
 25. Downtown area commercial buildings shall have their primary orientation toward the street rather than the parking area and shall be accessed from the street and sidewalk.
 26. Promote pedestrian interaction with lively streets for a safer more attractive streetscape. Ground floor shops and market spaces that provide services needed by downtown store operators and their customers, and citizens who can generate foot traffic on the streets, increase safety through informal surveillance. Entrances, arcades, open space, shop fronts, seating, and other elements can promote the use of the street front and provide places for friendly interaction. Design decisions should consider the importance of these features in a particular context and allow for their incorporation.
 27. Design for uses that are accessible to the general public, open during established shopping hours, generate walk-in pedestrian clientele, and contribute to a substantial level of pedestrian activity.

28. Where buildings with greater than 3,600 square feet of enclosed ground-floor space are proposed, they shall provide articulated facades on all street-facing elevations. This criterion is met when an elevation contains at least one of the following features for every 50 feet of building (horizontal length):
- a. Windows;
 - b. Primary entrances;
 - c. Weather protection (awnings, canopies, arbors, trellises);
 - d. Building offsets;
 - e. Projections;
 - f. Changes in elevation or horizontal direction;
 - g. Sheltering roofs; terraces; a distinct pattern of divisions in surface materials;
 - h. Ornamentation;
 - i. Screening trees;
 - j. Small-scale lighting (e.g., wall-mounted lighting, or up-lighting); and/or
 - k. Similar features as generally shown in Figure 17.3.170(D).
29. Where a building with greater than 20,000 square feet of enclosed ground-floor space are proposed, they shall provide articulated facades on all street-facing elevations. This criterion is met when an elevation contains at least one of the following features for every 40 feet of building (horizontal length): windows; primary entrances; weather protection (awnings, canopies, arbors, trellises), building offsets; projections; changes in elevation or horizontal direction; sheltering roofs; terraces; a distinct pattern of divisions in surface materials; ornamentation; screening trees; small-scale lighting (e.g., wall-mounted lighting); and/or similar features as generally shown in figure 17.3.170(D). Figure 17.3.170(D) should not be interpreted as a required architectural style. Parking requirements:
- a. Underground/Above ground (Garage Style) parking when the use exceeds that of a 20,000 square foot building, or;
 - b. Provide alternative parking throughout an area if within close proximity to the development.

Figure 17.3.170.D – Examples of Large Commercial Design Elements



Large Commercial Massing - Acceptable



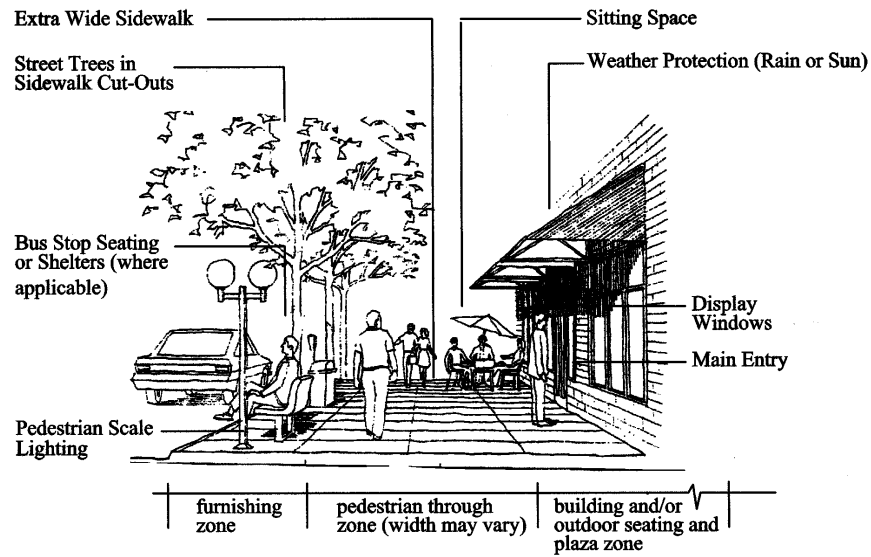
Large Commercial Massing - Unacceptable

17.3.180 COMMERCIAL DISTRICTS - PEDESTRIAN AMENITIES

- A. Purpose and Applicability.** This section provides standards for pedestrian amenities when pedestrian amenities are required as part of new developments and major remodels in the Central Business District, and when pedestrian amenities are provided to meet the requirements of other code sections. Pedestrian amenities serve as informal gathering places for socializing, resting, and enjoyment along street frontages and contribute to a walkable district.
- B. Standards.** New developments and major remodels in the Central Business District and other developments subject to the provisions of this section shall provide the following:
1. Lighting shall be provided:
 - a. Along all walkways and bicycle ways and must be lit to a level where employees, residents, customers or the public can adequately see to a minimum 3 foot-candle and designed for the system at night.
 2. Use cut-off lenses or hoods to prevent glare and light spill-off from a project site onto adjacent properties, buildings, and roadways.
 3. All new portions of commercial and industrial property shall be lit to a standard sufficient to afford police and other emergency services full vision of the site.
 4. Accessways shall be included to:
 - a. Connect with existing or approved accessways which abut the site, or to provide future connection(s) to abutting underdeveloped and undeveloped properties.
 - b. Provide reasonably direct access to nearby neighborhood activity centers, transit trunk routes and other transit facilities.
 - c. Provide reasonably direct connections from cul-de-sacs to the nearest available street or neighborhood activity center.
 5. And one or more of the “pedestrian amenities” listed below, and as generally illustrated in Figure 17.3.180(B). Pedestrian amenities may be provided within a building frontage, or plaza, or within the pedestrian through area, as shown in Figure 17.3.180(B). Use of the public right-of-way requires approval by the roadway authority:
 - a. A plaza, courtyard, square or extra-wide sidewalk next to the building entrance (minimum width of 6 feet);
 - b. Sitting space (i.e., dining area, benches, garden wall or ledges between the building entrances and sidewalk) with a minimum of 16 inches in height and 30 inches in width;

- c. Building canopy, awning, pergola, or similar weather protection (minimum projection of 4 feet over a sidewalk or other pedestrian space);
- d. Public art that incorporates seating (e.g., fountain, sculpture).

Figure 17.3.180 – Examples of Pedestrian Amenities



17.3.190 COMMERCIAL DISTRICTS - SPECIAL USE STANDARDS

This section supplements the standards contained Sections 17.3.110 through 17.3.180. It provides standards for the following land uses to control the scale and compatibility of those uses:

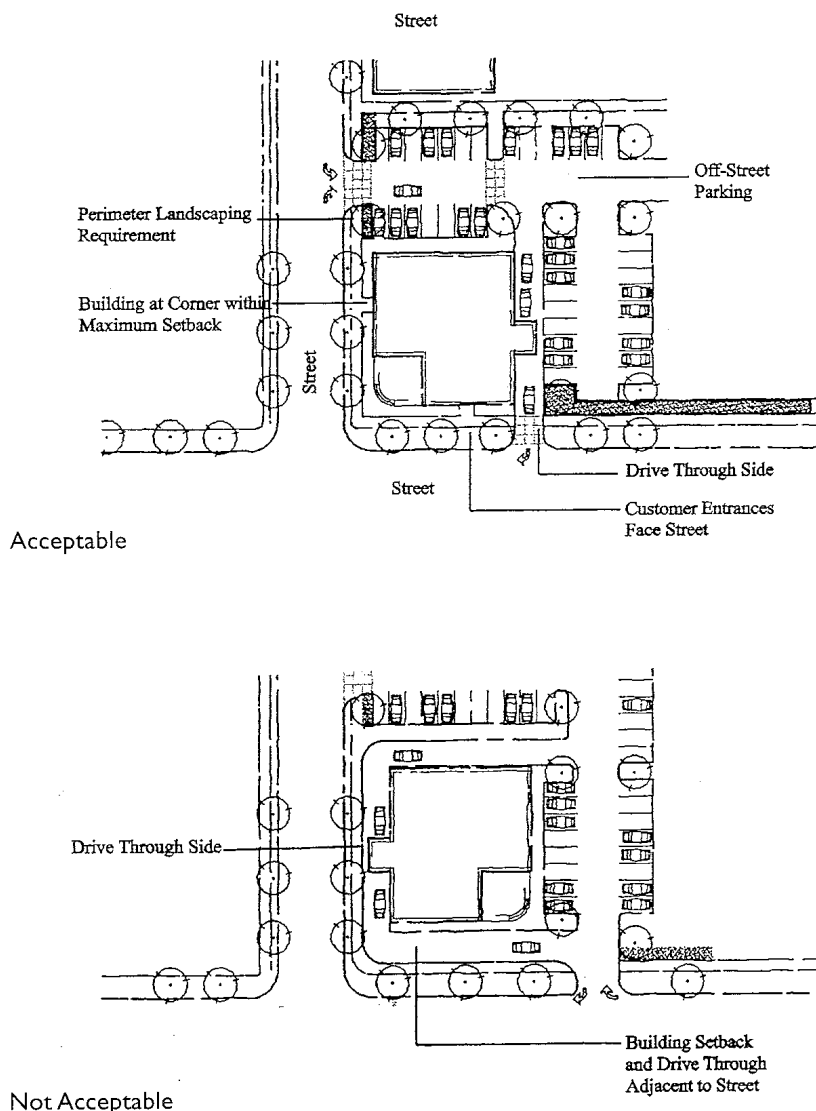
- Drive-up and Drive-through Uses and Facilities

A. Drive-Up/Drive-In/Drive-Through Uses and Facilities.

When drive-up or drive-through uses and facilities are allowed, they shall conform to all of the following standards, which are intended to calm traffic, and protect pedestrian comfort and safety.

1. The drive-up/drive-through facility shall orient to an alley, driveway, or interior parking area, and not a street [Figure 17.3.190(A.1)];
2. None of the drive-up, drive-in or drive-through facilities (*e.g.*, driveway queuing areas, windows, teller machines, service windows, kiosks, drop-boxes, or similar facilities) are located within 20 feet of a street and shall not be oriented to a street corner. (Walk-up only teller machines and kiosks may be oriented to a street or placed adjacent to a street corner);
3. Drive-up/in queuing areas shall be designed so that vehicles do not obstruct a driveway, fire access lane, walkway, or public

Figure 17.3.190(A.1) – Drive-Up and Drive-Through Facilities



17.3 – Commercial Land Use Districts – Special Use Standards: Drive-Up/Drive-Through

right-of-way; and

4. No more than one drive-up, drive-in, or drive-through facility shall be permitted for a distance of 400 linear feet along the same block face (same side of the street)

CHAPTER 17.4 – INDUSTRIAL (M) DISTRICTS

SECTIONS:

- 17.4.100 PURPOSE
- 17.4.112 M-1, LIGHT INDUSTRIAL
- 17.4.114 M-2 HEAVY INDUSTRIAL
- 17.4.116 EMPLOYMENT DISTRICT
- 17.4.130 SETBACK YARDS AND BUFFERING
- 17.4.140 SITE LAYOUT AND DESIGN

TABLES:

- 17.4.1 ALLOWED USES
- 17.4.2 DEVELOPMENT STANDARDS

17.4.100 INDUSTRIAL DISTRICT - PURPOSE

Chapter 17.4 accommodates industrial land uses in two Industrial Districts, Light Industrial (M-1) Heavy Industrial (M-2) and 1 employment zone. All three districts are intended to provide for land use compatibility while providing a high-quality environment for businesses and employees.

Chapter 17.4 guides the orderly development of industrial areas based on the following objectives:

- Provide for efficient use of land and public services;
- Provide appropriately zoned land with a range of parcel sizes for industry;
- Provide transportation options for employees and customers;
- Locate business services close to major employment centers;
- Ensure compatibility between industrial uses and nearby commercial and residential areas;
- Provide appropriate design standards to accommodate a range of industrial users;
- Provide attractive locations for business to locate; and

M-1, Light Industrial District. To accommodate non-polluting industries that are generally compatible with residential and commercial activities.

M-2, Heavy Industrial District. Encourage the location of uses that have a strong industrial orientation. The regulations are intended to promote uses and developments that will support the economic viability of the City, protect the health, safety and welfare of the public health, safety, and welfare of the public, address the character of the area and provide certainty to property owners, developers and neighbors about the limits of what is allowed.

EZ, Employment District. Allows for a mix of clean, employee-intensive industries and offices serving industrial needs. These areas provide jobs that strengthen and diversify the economy. The uses permitted in an employment zone are intended to improve the region's economic climate and protect the supply of sites for employment by limiting incompatible uses within the employment areas and promoting industrial uses, uses accessory to industrial uses, offices for industrial research and development of office type uses.

17.4.110 USES ALLOWED

17.4.112 M-1, LIGHT INDUSTRIAL

Development Standards

- A. 15,000 sq ft - Minimum Lot Area (sq ft) *Development must conform to lot width, depth, yard setback and coverage standards
- B. No Minimum - Minimum Lot Width
- C. No Minimum - Minimum Lot Depth
- D. 45 ft - Maximum Building Height
- E. No - Building Height Transition
- F. 85% - Maximum Lot Coverage
- G. 15% - Minimum Landscape Area (% of site)
- H. Minimum Setback (ft)⁶⁹

Front	Side	Street Side	Rear	Along Arterials
20	10	20	10	See TSP

- I. Fences & Gardening/Retaining Walls⁷⁰

Max Height - Front	Max Height - Side	Max Height - Street Side	Max Height - Rear
42"	6'	6'	6'

- J. Permitted Uses

1. Basic Utilities
2. Computer Component Assembly Plants
3. Corporate or government headquarters or regional offices with 50 or more employees
4. Distribution or warehousing
5. Engineering, Architectural and surveying services
6. Experimental, film or testing laboratories
7. Industries that manufacture from, or otherwise process, previously prepared materials
8. Industrial and professional equipment and supply stores, which may include service and repair of the same
9. Manufactured & Production, fully enclosed

⁶⁹ No balconies may extend into the public right-of-way.

⁷⁰ See also sections 18.1.2 Vision Clearance and 18.2.500 Fences and Walls.

10. Mortuary
11. Non-commercial, educational, scientific and research organizations
12. Printing, publishing, bookbinding, graphic or photographic reproduction, blueprinting or photo processing
13. Research and development activities
14. Quick Vehicle Servicing or Vehicle Repair
15. Self Service Storage
16. Software and hardware development
17. Transportation Facilities (operation, maintenance, preservation, and construction (in accordance with the City's Transportation Systems Plan)
18. Veterinary clinics and hospitals for small animals (both large and small animals)
19. Warehouse & Freight Movement
20. Wholesale sales (per Section 17.4.110)

K. Accessory Uses

1. Accessory Structures
2. Agriculture - Nurseries & similar horticulture (see also, wholesale & retail uses)
3. Offices
4. Parks & Open Space

L. Conditional Uses

1. Aircraft & Parts
2. Buildings & Structures exceeding the height limits
3. Bus Depot, but not bus garage or storage yard
4. Colleges
5. Manufactured home used as a permanent residence for a night watchman or caretaker
6. Mobile Food Unit
7. Outdoor Recreation, Commercial
8. Parking Lot (when not an accessory use)
9. Radio Frequency Transmission Facilities
10. Rail Lines & Utility Corridors
11. Recycling Depots
12. Religious Institutions & Houses of Worship
13. Telecommunications Facilities
14. Temporary Uses Per Section 19.9.100
15. Trade schools including technical, professional, vocational, business schools and college or university programs serving industrial needs

17.4.114 M-2, HEAVY INDUSTRIAL DISTRICT

Development Standards

- A. 25,000 sq ft - Minimum Lot Area (sq ft) *Development must conform to lot width, depth, yard setback and coverage standards

- B. No Minimum - Minimum Lot Width
- C. No Minimum - Minimum Lot Depth
- D. 45 ft - Maximum Building Height
- E. No - Building Height Transition
- F. 85% - Maximum Lot Coverage
- G. 15% - Minimum Landscape Area (% of site)
- H. Minimum Setback (ft)⁷¹

Front	Side	Street Side	Rear	Along Arterials
20	10	20	10	See TSP

- I. Fences & Gardening/Retaining Walls⁷²

Max Height - Front	Max Height - Side	Max Height - Street Side	Max Height - Rear
42"	6'	6'	6'

- J. Permitted Uses

1. Basic Utilities
2. Computer Component Assembly Plants
3. Corporate or government headquarters or regional offices with 50 or more employees
4. Experimental, film or testing laboratories
5. Industries that manufacture from, or otherwise process previously prepared materials
6. Industrial and professional equipment and supply stores, which may include service repair of the same
7. Manufacturing & Production, fully enclosed
8. Parking Lot (when not an accessory use)
9. Printing, publishing, bookbinding, graphic or photographic reproduction, blueprinting or photo processing
10. Quick Vehicle Servicing or Vehicle Repair
11. Transportation Facilities (operation, maintenance, preservation, and construction, in accordance with the City's TSP)
12. Veterinary clinics and hospitals for small animals (both large and small animals)
13. Warehouse & Freight Movement
14. Wholesale sales (per Section 17.4.110)

⁷¹ No balconies may extend into the public right-of-way.

⁷² See also sections 18.1.2 Vision Clearance and 18.2.500 Fences and Walls.

K. Accessory Uses

1. Accessory Structures
2. Agriculture - Nurseries & similar horticulture (see also, wholesale & retail uses)
3. Offices
4. Parks & Open Space

L. Conditional Uses

1. Aircraft & Parts
2. Buildings & Structures exceeding the height limits
3. Bus Depot, but not bus garage or storage yard
4. Crematory
5. Drive-In Theatre
6. Entertainment, Major Event
7. Manufactured home used as a permanent residence for a night watchman or caretaker
8. Manufacturing & Production, not enclosed
9. Mining
10. Mobile Food Unit
11. Mortuary
12. Radio Frequency Transmission Facilities
13. Rail Lines & Utility Corridors
14. Recycling Depots
15. Research and development activities
16. Self Service Storage
17. Software and hardware development
18. Telecommunications Facilities
19. Temporary Uses Per Section 19.9.100

17.4.116 EMPLOYMENT DISTRICT

Development Standards

- A. 25,000 square feet - Minimum Lot Area (sq ft) *Development must conform to lot width, depth, yard setback and coverage standards.
- B. 100 ft - Minimum Lot Width
- C. 100 ft - Minimum Lot Depth
- D. 45 feet - Maximum Building Height
- E. Yes - Building Height Transition
- F. 85 percent - Maximum Lot Coverage
- G. 15 percent - Minimum Landscape Area (% of site)

H. Minimum Setback (ft)⁷³ - Along all public right-of-way⁷⁴

Front	Side	Street Side	Rear	Along Arterials
20 ft	10 ft	20 ft	10 ft	See TSP

I. Fences & Gardening/Retaining Walls⁷⁵

Max Height Front	Max Height Side	Max Height Street Side	Max Height Rear
42"	6'	6'	6'

J. Permitted Uses

1. Colleges
2. Corporate or government headquarters or regional offices with fifty or more employees;
3. Computer component assembly plants;
4. Engineering, architectural and surveying services;
5. Experimental, film or testing laboratories;
6. Financial, insurance, real estate or other professional offices, as an accessory use to a permitted use, located in the same building as the permitted use and limited to 10 percent of the total floor area of the development. Financial institutions shall primarily serve the needs of businesses and employees within the development and drive-thru features are prohibited.
7. Industrial and professional equipment and supply stores, which may include service and repair of the same;
8. Industries that manufacture from, or otherwise process, previously prepared materials;
9. Information and data processing centers;
10. Manufacturing & Production (Fully Enclosed)
11. Non-commercial, educational, scientific and research organizations;
12. Parks & Open Space
13. Printing, publishing, bookbinding, graphic or photographic reproduction, blueprinting or photo processing;
14. Trade schools including technical, professional, vocational, business schools and college or university programs serving industrial needs;
15. Research and development activities;
16. Rail Lines & Utility Corridors
17. Religious Institutions & Houses of Worship

⁷³ No balconies may extend into the public right-of-way.

⁷⁴ Buffers shall follow those of industrial uses abutting residential when such an adjacent use exists.

⁷⁵ See also sections 18.1.2 Vision Clearance and 18.2.500 Fences and Walls. Fences and walls may be extended to 8' when approved through a land use procedure.

18. Retail sales and services, including eating establishments for employees (i.e. a cafe or sandwich shop), located in a single building or in multiple buildings that are part of the same development shall be limited to a maximum of 20,000 square feet or 5 percent of the building square footage, whichever is less and the retail sales and services shall not occupy more than 10 percent of the net developable portion of all contiguous industrial lands;
19. Software and hardware development;
20. Transportation Facilities (operations, maintenance, preservation, and construction, in accordance with the City's TSP)

K. Accessory Uses

1. No accessory structure shall be detached from the main building and must be built to the same look of the existing structure when connected to an existing structure.

L. Conditional Uses

1. Any other use which, in the opinion of the Planning Commission, is of similar character of those specified as outright uses and conditional uses. In addition the proposed conditional uses:
 - a) Will have minimal adverse impact on the appropriate development of primary uses on abutting properties and the surrounding area considering location, size, design and operating characteristics of the use;
 - b) Will not create odor, dust, smoke, fumes, noise, glare, heat or vibrations which are incompatible with primary uses allowed in this district;
 - c) Will be located on a site occupied by a primary use, or, if separate, in a structure which is compatible with the character and scale or uses allowed within the district and on a site no larger than necessary for the use and operational requirements of the use; and
 - d) Will provide vehicular and pedestrian access, circulation, parking and loading areas which are compatible with similar facilities for uses on the same site or adjacent sites.

M. Distribution or warehousing;

N. Building and Structures exceeding the height limitation

O. Bus Depot, but not bus garage or storage yard

P. Outdoor Recreation Commercial

Q. Parking Lot (when not an accessory use)

R. Radio Frequency Transmission Facilities

S. Temporary Uses Per Section 19.9.100

T. Wholesale Sales

Table 17.4.1 identifies the land uses that are allowed in the Industrial Districts. The specific land use categories are described and uses are defined in Chapter 16.3 and 16.4.

Table 17.4.110 - Land Uses Allowed in Industrial Districts				
Uses Use Categories	Status of Use in District			
	M-1	M-2	EZ	
Accessory Structures	AU	AU	AU	
Agriculture - Nurseries & similar horticulture (see also, wholesale & retail uses)	AU	AU	N	
Aircraft & Parts	CU	CU	N	
Basic Utilities	P	P	N	
Buildings & Structures exceeding the height limitations	CU	CU	CU	
Bus Depot, but not bus garage or storage yard	CU	CU	CU	
Colleges	CU	N	P	
Computer Component Assembly Plants	P	P	P	
Corporate or government headquarters or regional offices with fifty or more employees	P	P	P	
Crematory	N	CU	N	
Distribution or warehousing	P	P	P	
Drive-In Theatre	N	CU	N	
Engineering, Architectural and surveying services	P	N	P	
Experimental, film or testing laboratories	P	P	P	
Financial, insurance, real estate or other professional offices, as an accessory use to a permitted use, located in the same building as the permitted use and limited to 10 percent of the total floor area of the development. Financial institutions shall primarily serve the needs of businesses and employees within the development and drive-thru features are prohibited.	N	N	P	
Industries that manufacture from, or otherwise process, previously prepared materials	P	P	P	
Industrial and professional equipment and supply stores, which may include service and repair of the same	P	P	N	
Information and data processing centers	N	N	P	
Manufactured home used as a permanent residence for a night watchman or caretaker	CU	CU	N	
Manufacturing & Production				
	Fully Enclosed	P	P	P
	Not Fully Enclosed	N	CU	N
Mining	N	CU	N	
Mobile Food Unit	CU	CU	N	
Mortuary	P	CU	N	
Non-commercial, educational, scientific and research organizations	P	N	P	
Offices	AU	AU	P	
Outdoor Recreation Commercial	CU	N	CU	
Parking Lot (when not an accessory use)	CU	P	CU	
Parks & Open Space	P	AU	P	
Printing, publishing, bookbinding, graphic or photographic reproduction, blueprinting or photo processing	P	P	P	
Quick Vehicle Servicing or Vehicle Repair	P	P	N	
Radio Frequency Transmission Facilities	CU	CU	CU	
Rail Lines & Utility Corridors	CU	CU	P	
Recycling Depots	CU	CU	N	
Religious Institutions & Houses of Worship	CU	N	P	
Research and development activities	P	CU	P	

Table 17.4.110 - Land Uses Allowed in Industrial Districts			
Uses	Status of Use in District		
Use Categories	M-1	M-2	EZ
Retail sales and services, including eating establishments for employees (i.e. a cafe or sandwich shop), located in a single building or in multiple buildings that are part of the same development shall be limited to a maximum of 20,000 square feet or 5 percent of the building square footage, whichever is less and the retail sales and services shall not occupy more than 10 percent of the net developable portion of all contiguous industrial lands	N	N	P
Self Service Storage	P	CU	N
Software and hardware development	P	CU	P
Telecommunications Facilities	CU	CU	CU
Temporary Uses Per Section 19.9.100	CU	CU	N
Trade schools including technical, professional, vocational, business schools and college or university programs serving industrial needs	CU	N	P
Transportation Facilities (operations, maintenance, preservation, and construction, in accordance with the City's TSP)	P	P	P
Veterinary Clinics & Hospitals for small animals (both large and small animals)	P	P	N
Warehouse & Freight Movement	P	P	N
Wholesale Sales (per section 17.4.110)	P	P	SP
Any other use which, in the opinion of the Planning Commission, is of similar character of those specified as outright uses and conditional uses. In addition the proposed conditional uses: - Will have minimal adverse impact on the appropriate development of primary uses on abutting properties and the surrounding area considering location, size, design and operating characteristics of the use; - Will not create odor, dust, smoke, fumes, noise, glare, heat or vibrations which are incompatible with primary uses allowed in this district; - Will be located on a site occupied by a primary use, or, if separate, in a structure which is compatible with the character and scale or uses allowed within the district and on a site no larger than necessary for the use and operational requirements of the use; and - Will provide vehicular and pedestrian access, circulation, parking and loading areas which are compatible with similar facilities for uses on the same site or adjacent sites.			CU

Key:

P = Permitted, subject to site/development review
 N = Not permitted
 SP = Only Specified Uses

CU = Conditional Use Permit required
 AU = Accessory

***No accessory structure shall be detached from the main building and must be built to the same look of the existing structure when connected to an existing structure.**

17.3.2 DEVELOPMENT STANDARDS

The development standards in Table 17.4.2 apply to all new structures, buildings, and development, and major remodels, in the Industrial Districts.

Table 17.4.2 - Development Standards for Industrial Districts		
Standard	M-1	M-2
Minimum Lot Area (sq ft) *Development must conform to lot width, depth, yard setback and coverage standards	15,000	25,000
Minimum Lot Width (ft)	No Minimum	No Minimum
Minimum Lot Depth (ft)	No Minimum	No Minimum
Maximum Building Height (ft)	45	45
Building Height Transition	No	No
Maximum Lo Coverage (%)	85	85
Minimum Landscape Area (% of site)	15	15
Minimum Setback (ft)⁷⁶		
Front	20	20
Side	10	10
Street Side	20	20
Rear	10	10
Setbacks along Arterials	See TSP	See TSP
Fences & Gardening/Retaining Walls⁷⁷		
Max Height - Front	42"	42"
Max Height - Side	6'	6'
Max Height - Street Side	6'	6'
Max Height - Rear	6'	6'

A. All new developments shall:

1. Always avoid utility easements when building near property lines;
2. Porches, balconies, and patios must be less than 50% enclosed on side elevations;
3. On street side fences, retaining/garden walls the 6 foot height may be expanded to 8' with approval through a building permit.

⁷⁶ No balconies may extend into the public right-of-way

⁷⁷ See also sections 18.1.2 Vision Clearance and 18.2.500 Fences and Walls

17.4.130 INDUSTRIAL DISTRICTS - SETBACK YARDS; INDUSTRIAL BUFFERS

A. Purpose. Setback yards and buffers provide separation between industrial and non-industrial uses for fire protection/security, building maintenance, sunlight and air circulation, noise buffering, and visual separation.

B. Applicability. The setback yard and buffer standards in table 17.4.120 are minimum standards that apply to buildings, accessory structures, parking areas, mechanical equipment, and other development, but not buffers as required under subsection F). In granting a Conditional Use Permit, the approval body may increase the standard yards and/or buffers consistent with the criteria in Chapter 17.4. The approval body may also decrease the standard yards and/or buffers through the Conditional Use Permit process, provided that all applicable building and fire safety codes are met.

C. Buffering Other Yard Requirements.

1. **Buffering.** The approval body may require landscaping, fences, walls or other buffering that exceed the landscaping standards in Chapter 18.2 when it finds through Site Design Review (Chapter 19.2), Conditional Use Permit review (Chapter 19.4), and/or Master Planned Development review (Chapter 19.5), where applicable, that more or different buffering is necessary to mitigate adverse noise, light, glare, and/or aesthetic impacts to adjacent properties. Additional buffers shall be required when new or major remodels occur where industrial lands abut a residential zone. Such requirements shall meet the following:
 - a. An additional six feet of vegetative buffer beyond that normally required by Chapter 18.2.500; and,
 - b. All parking that is visible from an existing or proposed street shall be screened from view from public rights-of-way.
 - c. New industrial development occurring next to residential zoned neighborhoods shall at a minimum:
 - 1) Double their setbacks from shared property line(s) to the building, and allow parking within those setbacks;
 - 2) Install a vegetative buffer which must reach 6 feet in height within three years from approval;
 - 3) Install a site obscuring (sound reducing) wall 8 feet tall;
 - 4) A reduction in these standards may occur if a letter signed by all affected property owners stating that they understand the impacts and will forego the requirements of this section is submitted to the Planning Director as part of a land use file.

17.4 – Industrial (I) Land Use Districts – Setback Yards and Industrial Buffers

2. Pedestrian Access. The approval body may require the construction of pedestrian access ways through required buffers to ensure pedestrian connections within large developments, between multiple development phases, or connecting to public sidewalks, walkways, or multi-use pathways. The design of access ways shall conform to Section 18.1.

17.4.140 INDUSTRIAL DISTRICTS - SITE LAYOUT AND DESIGN

A. Development Compatibility. Industrial uses and developments shall be oriented on the site to minimize adverse impacts (*e.g.*, noise, glare, smoke, dust, exhaust, vibration, etc.) and to provide compatibility with adjacent uses to the extent practicable. The following standards shall apply to all development in the General Industrial and Light Industrial Districts:

1. Mechanical equipment, lights, emissions, shipping/receiving areas, and other components of an industrial use that are outside enclosed buildings, shall be located away from residential areas, schools, parks and other non-industrial areas to the maximum extent practicable; and
2. The City may require a landscape buffer, or other visual or sound barrier (fence, wall, landscaping, or combination thereof), to mitigate adverse impacts that cannot be avoided, as provided in Section 17.4.130.
3. Industrial development that proposes the employment of 25 or more employees shall accommodate employees by incorporating an outdoor lunch area into their landscape plan.
4. Accessways shall be included to:
 - a. Connect with existing or approved accessways which abut the site, or to provide future connections(s) to abutting underdeveloped and undeveloped properties.
 - b. Provides reasonably direct access to nearby neighborhood activity centers, transit trunk routes and other transit facilities.
 - c. Provide reasonably direct connections from cul-de-sacs to the nearest available street or neighborhood activity center.
 - d. Include street trees and street landscaping.
 - e. Provide an integrated open space and pedestrian system with the development with appropriate connections to surrounding properties.

B. Color Palette. Development in the industrial zones shall conform with the color palettes for building facades, building trim and signage.

1. Colors consistent with the color palettes shall be used. When questions arise regarding color consistency the Planning Director shall determine its compatibility with the color palette charts;
2. Base, trim and sign colors shall compliment one another;
 - a. Base. Acceptable colors shall compliment one another.

17.4 – Industrial (I) Land Use Districts – Lot Coverage; Site Layout and Design; Building and Structure Height

b. Trim.

- 1) Only those colors listed in the Trim Palette are acceptable for use on a building trim. Trim colors shall not be used on more than 15 percent of each faced of a building’s exterior.
- 2) Where brick, natural timber and/or stone is used on 15 percent or more of a street-facing façade, that building is entitled to display up to 20 percent of the street-facing façade with the colors listed on the trim palette.

c. Signs. Signs may display up to 50 percent of each face with colors listed in the City’s Sign Palette. The remaining portion of the sign shall be listed on the base color palette.

3. Neon colors are prohibited;

4. Interpretation. An individual may request approval of a color not shown on the color palette by following a Type I Land Use Procedure. The applicant will be required to submit the following materials for the Planning Director for review:

- a. A color rendering of the building illustrating the proposed color to be used;
- b. A color scheme of the surrounding structures;
- c. A narrative description explaining why the proposed color meets or can meet the intent of the color palette in question;

5. Only those colors listed in each of the respective color palettes will be allowed, however, the acceptability of “similar” or “like” colors will be left to the interpretation of the hearing body. Color palette interpretation will be processed in the same manner as code language interpretation outlined in Chapter 19.8

C. Outdoor Storage and Refuse/Recycling Collection Areas

1. No materials, supplies or equipment shall be stored in any area on a lot except inside an enclosed building, or behind a visual barrier screening such areas so that they are not visible from the neighboring properties or streets. no storage areas shall be maintained between a street and the front of the structure nearest the street.

CHAPTER 17.5 – OVERLAY DISTRICTS AND PUBLIC / SEMI-PUBLIC

Sections:

- 17.5.100 SUPPORT COMMERCIAL (SC) OVERLAY DISTRICT**
- 17.5.110 PURPOSE**
- 17.5.120 USE AND DIMENSIONAL STANDARDS**
- 17.5.140 MINIMUM LOT SIZES**
- 17.5.300 PUBLIC / SEMI-PUBLIC USES (PSP)**
- 17.5.310 PURPOSE**
- 17.5.320 PRINCIPLE USES PERMITTED OUTRIGHT**
- 17.5.330 ACCESSORY USES PERMITTED OUTRIGHT**
- 17.5.340 CONDITIONAL USES PERMITTED**

17.5.100 SUPPORT COMMERCIAL (SC) OVERLAY DISTRICT

17.5.110 PURPOSE

The purpose of the SC Overlay District allows support commercial uses in designated transitional industrial areas. This zone is applied over the base M-2 Industrial District in those areas where small parcels are unlikely to be used for heavy industrial purposes.

17.5.120 USE AND DIMENSIONAL STANDARDS

1. Except as indicated in this chapter, the list of permitted and conditional uses, as well as the lot size and dimensional standards of the M-2 district shall apply to land within the SC Overlay District. This zone should allow for support type commercial uses which serve the industrial zone.

17.5.140 MINIMUM LOT SIZES

No lot shall be reduced to less than ½ acre in size.

17.5.300 PUBLIC / SEMI-PUBLIC USES (PSP)**17.5.310 PURPOSE**

The purpose of the Public/Semi-Public District is to accommodate the sighting of public or semi-public facilities. This chapter ensures that these facilities are properly located and that they are compatible with surrounding neighborhoods.

17.5.320 PRINCIPLE USES PERMITTED OUTRIGHT

1. City and other public parks and ancillary facilities.
2. Public buildings, including schools, City administration, library, protective services, community facilities, spectator/participant facilities with 15,000 square feet of floor space or less.
3. Public facilities/structures/uses including; water, sewer drainage facilities and similar uses.
4. Public/semi-public open space uses including playgrounds and similar uses.
5. Government buildings and administrative or protective services.
6. Governmental structure or use including public parks, playground, recreation building, fire station, police station, museum or library.
7. Public or semi-public building serving as a library, museum, or other similar purpose.
8. Public parks, playground, or recreational area, and buildings used in connection therewith.
9. Government building and administrative or protective service.
10. Indoor recreation facilities which are 15,000 square feet of floor space and under.

17.5.330 ACCESSORY USES PERMITTED OUTRIGHT

1. Agricultural or horticultural activities of a public/nonprofit nature.
2. Uses customarily incidental and subordinate to a principle use permitted outright, including parking.

17.5.340 CONDITIONAL USES PERMITTED

1. Approval of a conditional use shall not be granted unless a specific proposal meets the criteria listed in Chapter 19.4.
2. Camping facilities.
3. Indoor recreation facilities over 15,000 square feet.
4. Manufactured home or other structures used as a permanent residence for a night watchman or caretaker.
5. Outright permitted uses in excess of the height limitations.
6. Public buildings, including schools, City administration, library, protective services, community facilities, spectator/participant facilities exceeding 15,000 square feet of floor space.
7. Public or semi-public administrative offices.
8. Private nursery school, kindergarten or daycare center.
9. Recreational vehicle camping facilities.
10. Recreational Vehicle Camping Parks

11. Telecommunications facilities.
12. Public use facilities 15,000 square feet or greater of total floor space.